

**MASSING STUDY**

**5460 MARINE DRIVE / LOT C**

WEST VANCOUVER

British Columbia

March 16, 2016

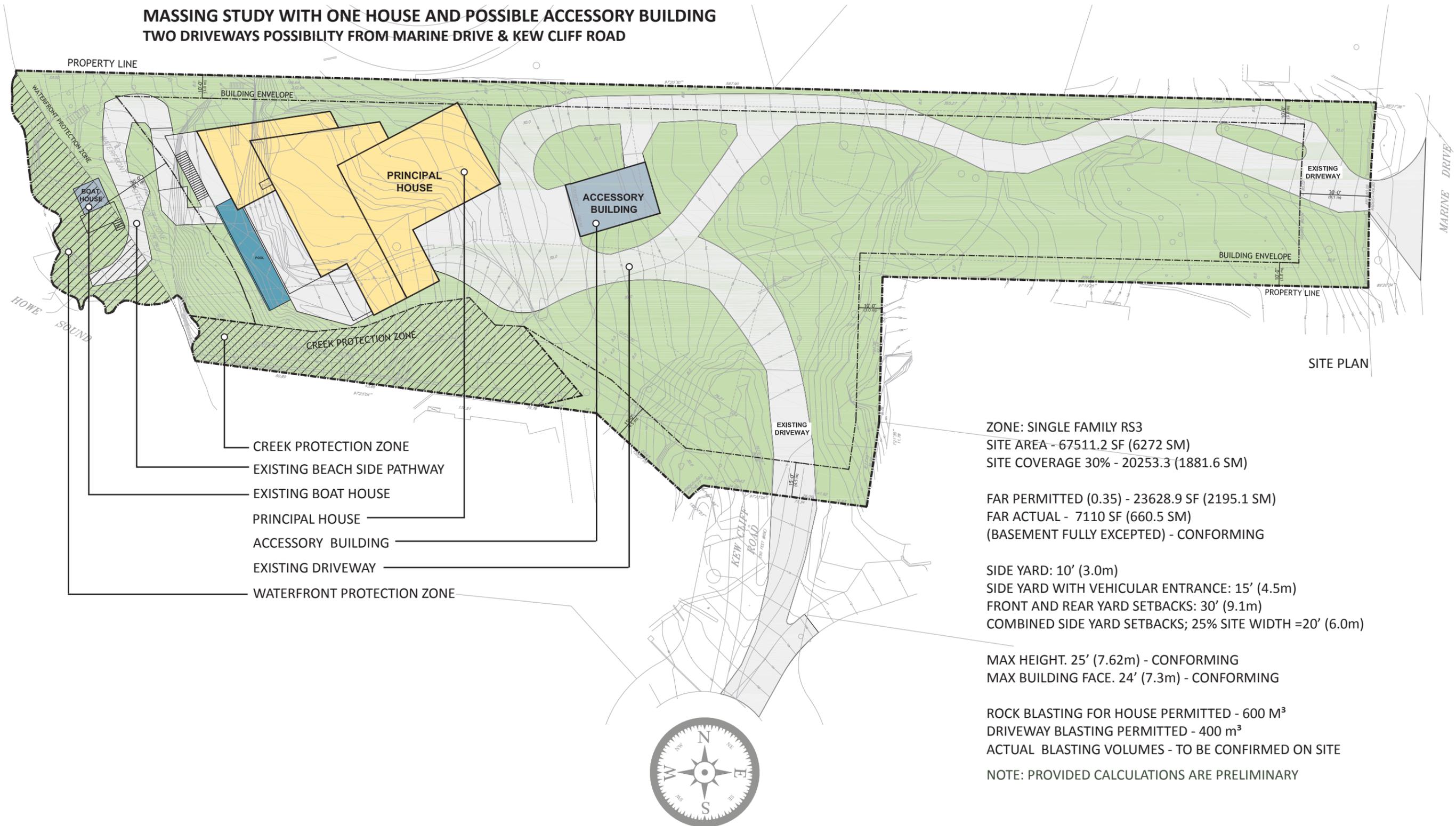


Openspace Architecture Inc



CONTEXT PLAN

**MASSING STUDY WITH ONE HOUSE AND POSSIBLE ACCESSORY BUILDING**  
**TWO DRIVEWAYS POSSIBILITY FROM MARINE DRIVE & KEW CLIFF ROAD**



SITE PLAN

- CREEK PROTECTION ZONE
- EXISTING BEACH SIDE PATHWAY
- EXISTING BOAT HOUSE
- PRINCIPAL HOUSE
- ACCESSORY BUILDING
- EXISTING DRIVEWAY
- WATERFRONT PROTECTION ZONE

ZONE: SINGLE FAMILY RS3  
 SITE AREA - 67511.2 SF (6272 SM)  
 SITE COVERAGE 30% - 20253.3 (1881.6 SM)

FAR PERMITTED (0.35) - 23628.9 SF (2195.1 SM)  
 FAR ACTUAL - 7110 SF (660.5 SM)  
 (BASEMENT FULLY EXCEPTED) - CONFORMING

SIDE YARD: 10' (3.0m)  
 SIDE YARD WITH VEHICULAR ENTRANCE: 15' (4.5m)  
 FRONT AND REAR YARD SETBACKS: 30' (9.1m)  
 COMBINED SIDE YARD SETBACKS; 25% SITE WIDTH = 20' (6.0m)

MAX HEIGHT. 25' (7.62m) - CONFORMING  
 MAX BUILDING FACE. 24' (7.3m) - CONFORMING

ROCK BLASTING FOR HOUSE PERMITTED - 600 M<sup>3</sup>  
 DRIVEWAY BLASTING PERMITTED - 400 m<sup>3</sup>  
 ACTUAL BLASTING VOLUMES - TO BE CONFIRMED ON SITE

NOTE: PROVIDED CALCULATIONS ARE PRELIMINARY

**MASSING STUDY WITH ONE HOUSE AND POSSIBLE ACCESSORY BUILDING**  
**TWO DRIVEWAYS POSSIBILITY FROM MARINE DRIVE & KEW CLIFF ROAD**



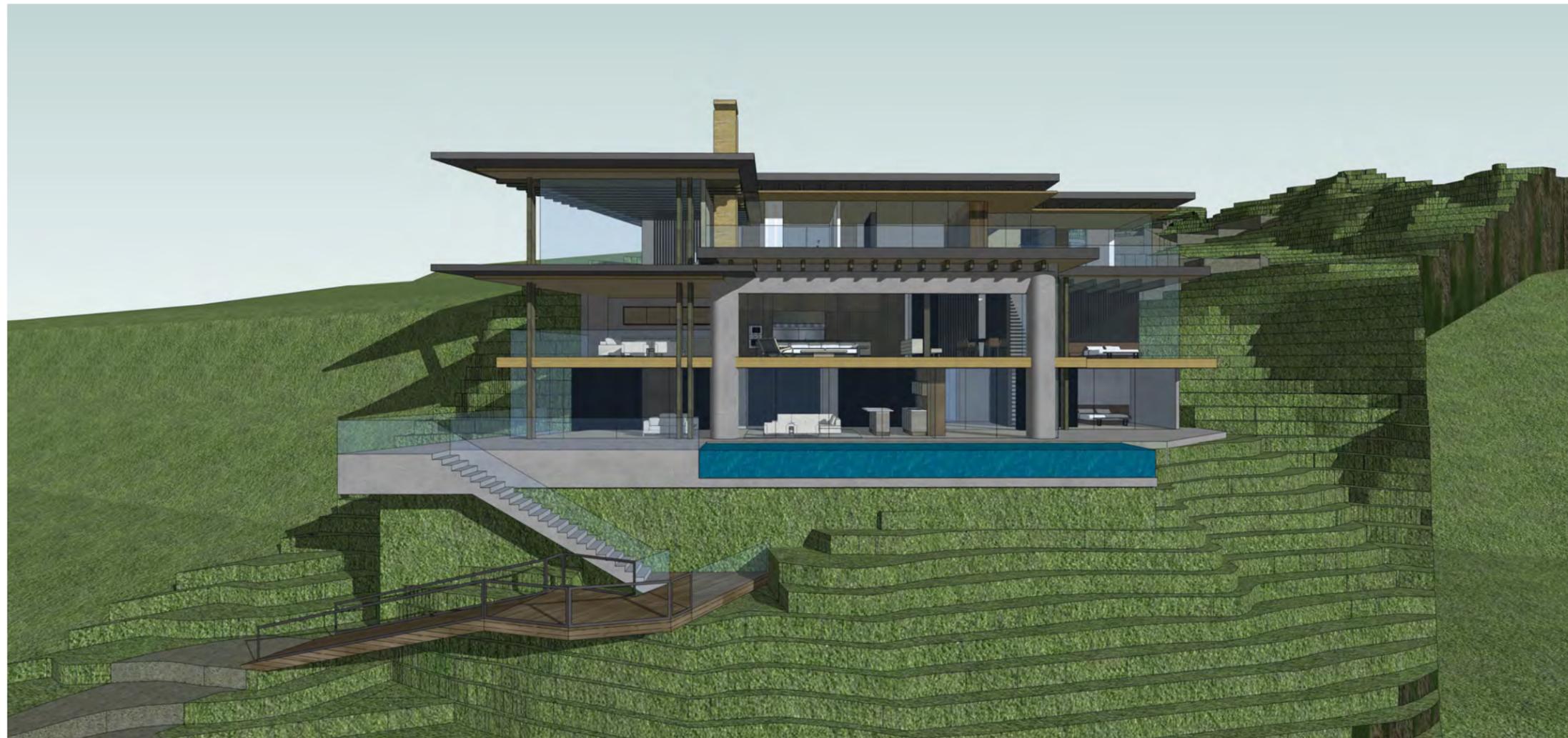


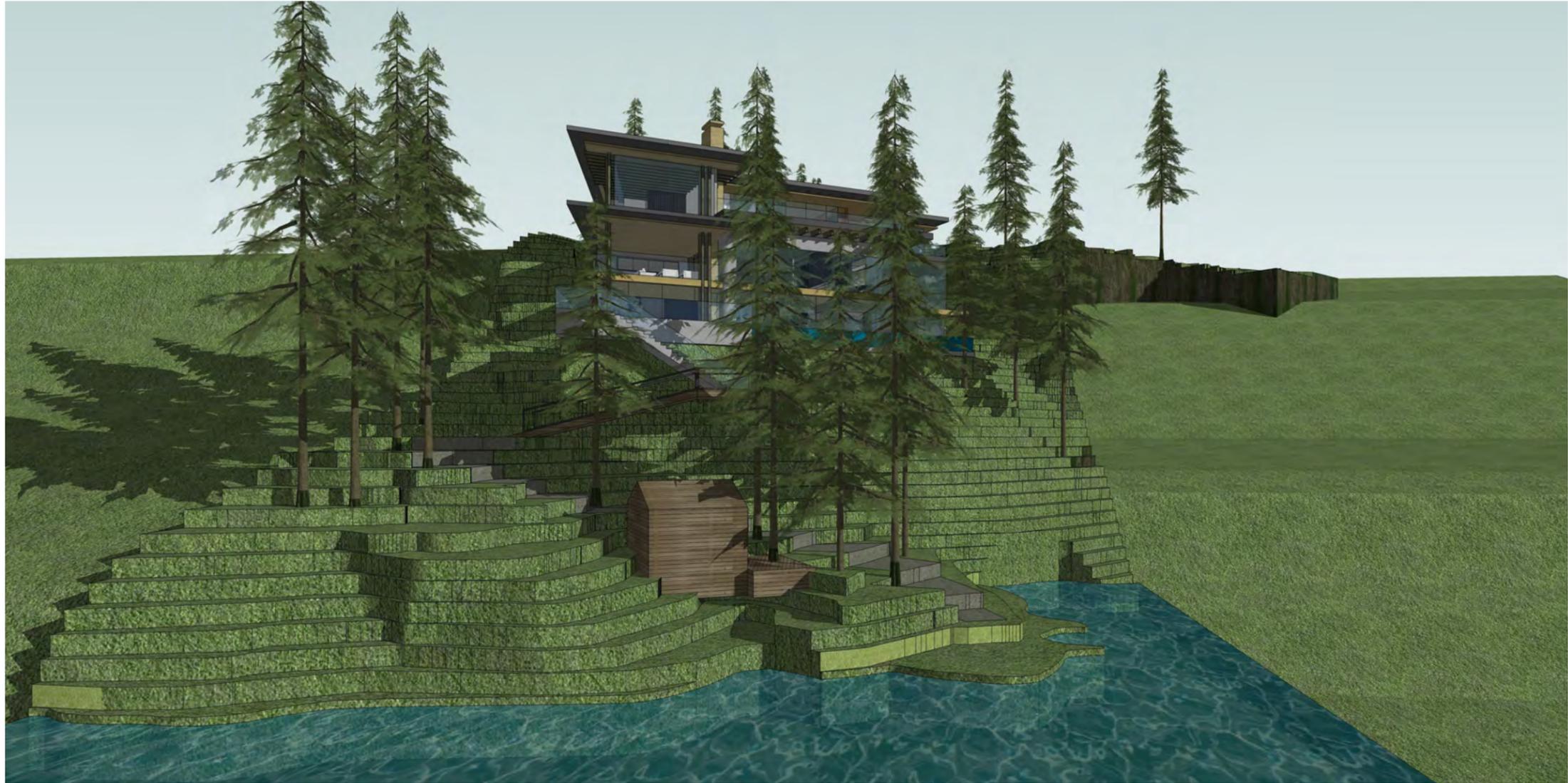


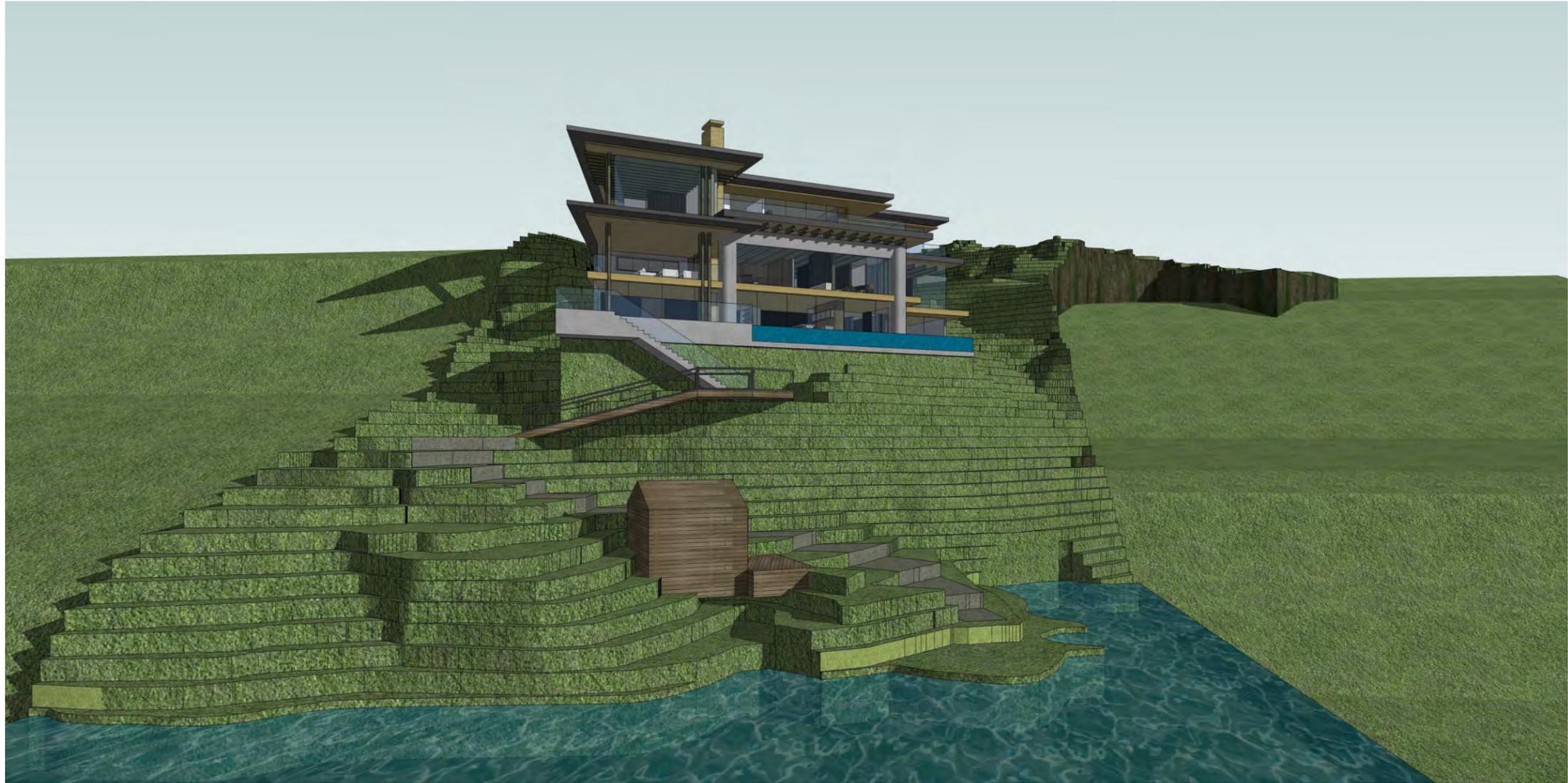














MAX BUILDING HEIGHT AND HIGHEST BUILDING FACE STUDY MODEL





PROPOSED LOWEST LEVEL (4TH FLOOR)  
ELEVATOR FROM LOWER (BASEMENT) FLOOR TO EXISTING BEACH SIDE PATHWAY  
ADDITIONAL BLASTING REQUIRED - TO BE REVIEWED WITH PLANNING DEPARTMENT