

**EXCAVATIONS**

1. Geotechnical Engineer is to certify a site is safe for workers when the slope of the excavations exceed 3/4 horizontal to one vertical or excavation exceeds 48".
2. Inspections can only be done if site is posted as safe by Prof. Engineer.

**FOUNDATIONS**

1. Pad footings are required to be 26 x 26 x 9" min.
2. Footings are to extend 18" below grade minimum.
3. Foundation walls of basement below grade and crawl spaces must be insulated with R12 to 24" below grade.
4. Provide 1/2" Ø anchor bolts @ 8'-0" o.c.
5. Anchor posts to footings to resist uplift.

**VENTILATION**

1. Uniformly distribute ventilation to flat and vaulted roofs to 1/150 of insulated ceiling area. Venting is required to be two-way
2. Min. 2 x 2 cross purfins to flat, vaulted ceilings, and decks over living areas to conform to #9.19.1.2(4).
3. Provide min 2 1/2" clearance between roof sheathing and insulation #9.19.1.3.
4. Ventilate attics to 1600 of insulated ceiling area
5. Roof vents must be uniformly distributed with a minimum of 25% at base and 25% in roof top.
6. Provide weather stripped attic access of 1'-8" x 2'-4"
7. Submit Mechanical Ventilation/Air Conditioning design and letter of supervision by Prof. Engineer, certified HRA1 or HVC Technician at frame and final inspection.
8. Continuous or intermittent exhaust fans are required to all bathrooms and kitchens as per #9.32.3.3.

**INSULATION**

1. Insulation where subject to mechanical damage is to be covered as per #9.25.2.3(7) with drywall or equivalent (e.g. crawl storage areas)
2. Wall insulation to be R20 minimum if dwelling is not heated by natural gas.
3. Minimum insulation values R 14 walls, R28 for flat or vaulted ceilings, and R40 for attic spaces.
4. Ceiling and walls to have 6 mil U.V. poly fully caulked as per # 9.25.
5. R 10 rigid insulation required around unheated slabs on grade; 20' vertical or horizontal from bottom edge of slab.
6. R12 rigid insulation required under entire slab area for slabs with radiant heating.

**STAIRS**

1. Straight stair: Rise min. 5", max. 7.87" / Run min. 8.25", max. 14"
2. All treads to have 1" nosing.
3. Minimum headroom is 6.56' from a line through nosings, measured vertically.
4. Handrail to be between 32" to 38" from a line, measured vertically, through nosing.
5. Winders to conform to 3.3.1.15(6).
6. Primary stair minimum width 34".
7. Curved stairs and stairs 43" in width or greater require 2 handrails.
8. Handrail required on interior stairs with three or more risers, and exterior stairs with four or more risers.
9. Handrail as a guard is to be between 36" and 38".

**CHIMNEYS & FIREPLACES**

1. Minimum 2" clearance between chimney and combustible framing.
2. Minimum 4" clearance between fireplace and combustible framing
3. Masonry fireplace hearths must conform to # 9.22.5.1.
4. C.O. detectors required as per #9.32.4.1(8)

**GUARDRAILS**

1. Guardrails: to be a minimum 42" exterior and 36" interior height.
2. No member facilitating climbing permitted from 4" to 36" above the floor or walking surface (in all guards).
3. Maximum 4" opening in all stair, deck and balcony guards (interior and exterior)
4. All glass guards to have top cap unless approved by Prof Engineer.
5. A minimum of 36" in height is permitted for decks within 5' - 11" of grade.
6. Guard rails required to all drops exceeding 24" where access is provided (e.g. window wells)

**GLAZING**

1. Glass in windows and doors to be double-glazed.
2. Glass in entrance, shower and sliding doors, and windows within 8" of floor and within 36" of deadbolts are all to be safety glass.
3. Sidelights 20" + in width are to be safety glass.
4. Windows in walls enclosing shower or tubs are to be safety glass and be located above the waterproof wall finish height.
5. The bottom of an operable window in a bedroom is not to exceed 4'-11" above the floor, and have a min. opening width of 15" with an area of 3.75 sq.ft.
6. Window wells are to be 22" minimum width when required as a bedroom egress.

**MASONRY VENEER WALL.**

1. Provide masonry/veneer wall flashing ties and weep holes as per # 9.20.

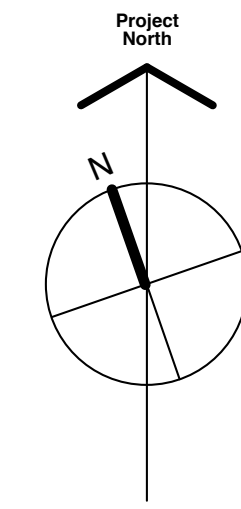
**GARAGES**

1. Door between garage and dwelling are to be a self closing and weatherstripped solid core door.
2. Thicken slab at garage entry to 19" below grade.

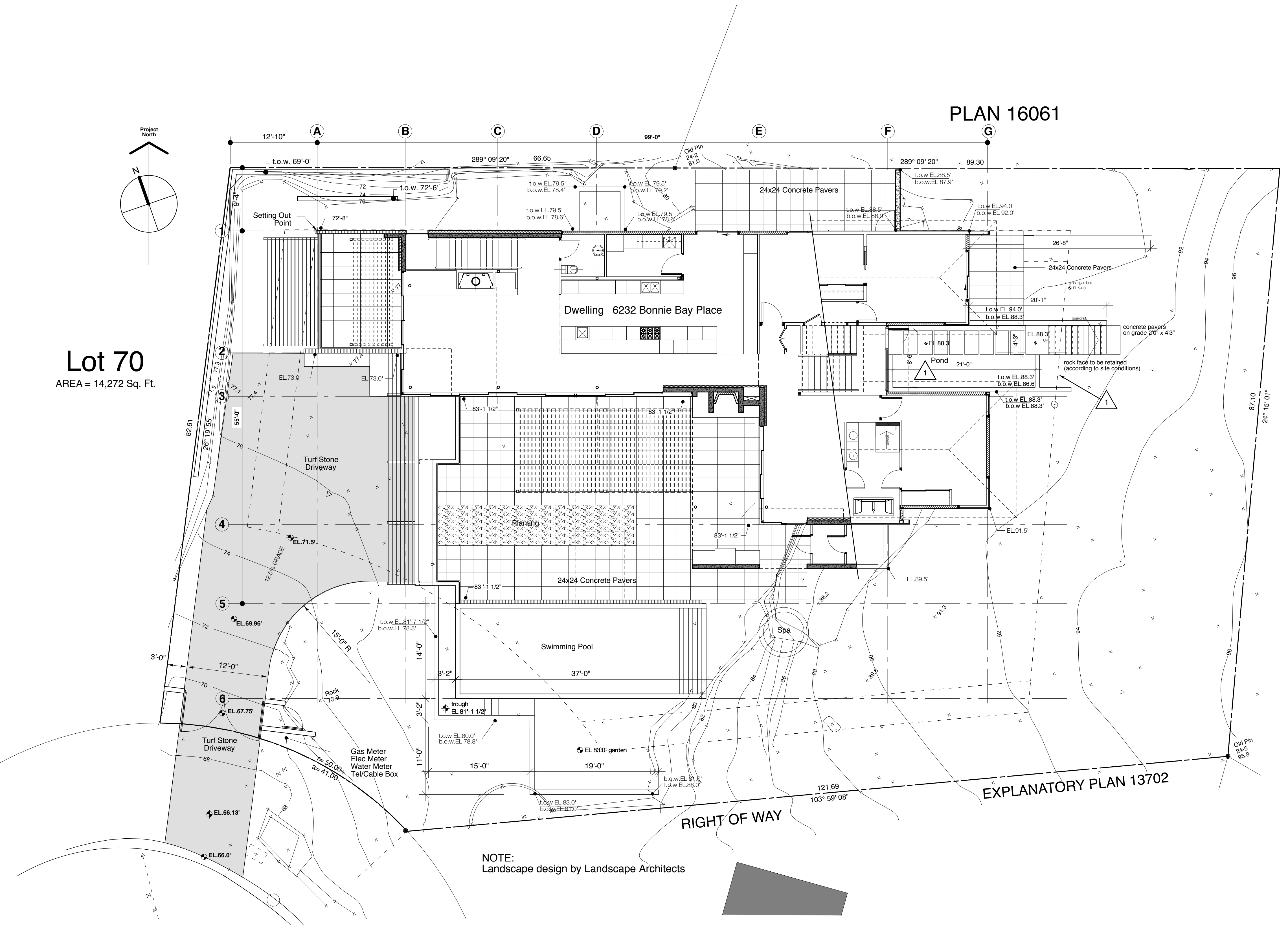
**MISCELLANEOUS**

1. Cross bridging required @ 7'-0" o/c maximum for floor and roof joists.
2. Lino or equal required to bathroom floors
3. Waterproof wallboard required as tile base around tubs and showers.
4. 5/8" Drywall required to ceiling members at 24" o.c.
5. Provide 8" clearance between grade and siding.
6. Damp-proofing for slabs. including crawl space to be 6 mil "UV" poly.
7. Furnace and laundry room door width of 2'-8" min.
8. NRP hinges required for out swinging exterior doors.
9. One hard wired-smoke alarm required per floor, all smoke alarms to be interconnected.
10. Smoke alarms required on every floor level, differing by 36" and within 5 meters of bedroom doors and 15 meters of each other.
11. A 5 lb. A.B.C. dry chemical fire extinguisher is required for the kitchen.
12. Provide, flashing between horizontal intersections of differing wall finishes.
13. Flashing to slope away from building.
14. Secure hot water tanks to prevent overturning.

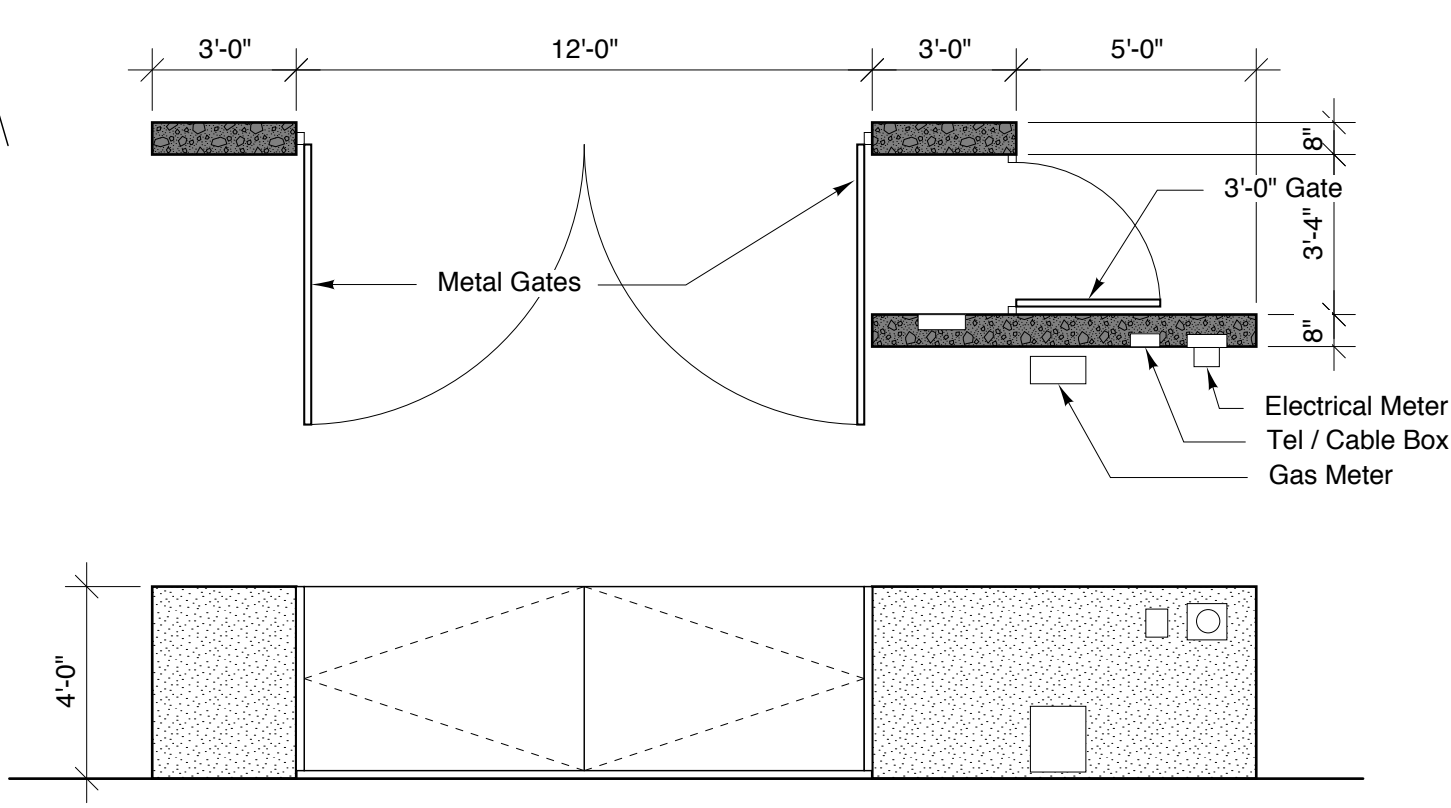
**Lot 70**  
AREA = 14,272 Sq. Ft.



**PLAN 16061**



NOTE:  
Landscape design by Landscape Architects



**ENTRY GATE DETAIL**

**Consultants:**

- Design: Cedric Burgers  
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- Geotechnical: Paul Davies  
Davis Geotechnical Inc  
5033 Regent St  
V5C 4H4 Burnaby BC.  
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- Envelope: Ralph Jeck  
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- Surveyors: Chapman Land Surveying Ltd.  
Suite 107/100 Park Royal South  
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ph. 604.926.7311  
fax: 604.926.6932
- Contractor: Cedric Burgers Developments Ltd.  
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  - 2.2 Basement Plan
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  - 2.4 Main Floor Plan
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  - 2.6 Upper Floor Plan
  - 2.7 Roof Framing Plan
  - 2.8 Roof Plan
  - 3.1 North & South Elevations
  - 3.2 West & East Elevation
  - 4.1 Sections A-A & B-B
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- Detail Book  
66 pages

| Date     | Description                  |
|----------|------------------------------|
| 11/07/14 | Minor Revisions              |
| 11/06/14 | Issued for Construction      |
| 11/02/16 | Issued for Foundation Layout |
| 10/10/23 | Design Revision              |
| 10/10/19 | Issued for Building Permit   |

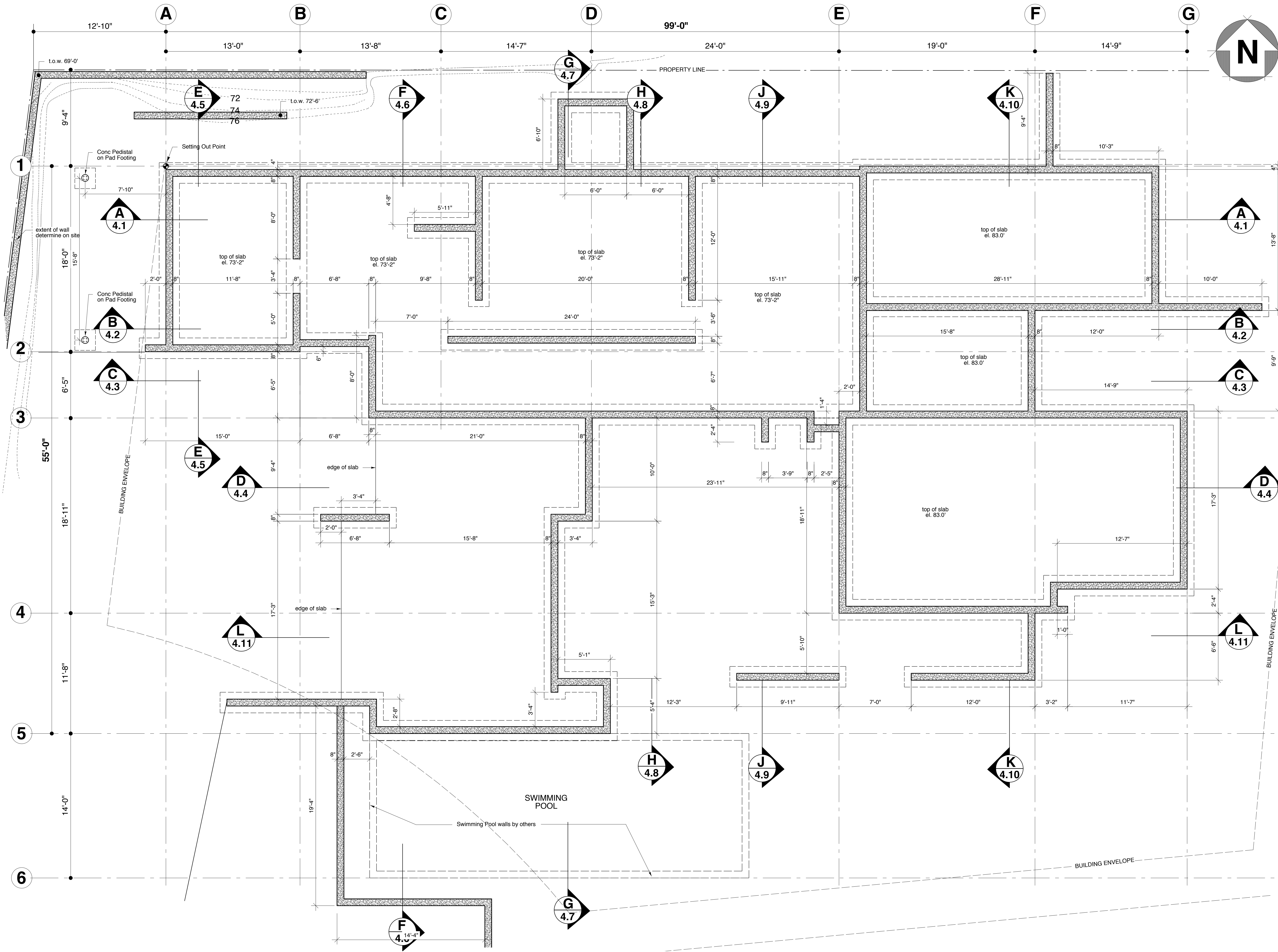
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email: info@baarchitects.com

DATE: 11/06/14  
DRAWN: www.negus.ca  
PROJECT:

6132 Bonnie Bay Place  
West Vancouver, BC

**SITE PLAN**  
Scale: 1/8" = 1'-0"  
2 6 12 20



**GENERAL NOTES**  
(apply to all drawings)

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**Dimensions**  
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All interior dimensions are to face of stud unless otherwise noted.

**Construction Assembly Reference**  
(refer to detail book)

- 3 Denote Wall Assembly
- Std. Concrete
- White Concrete

**Detail Reference**  
(refer to detail book)

- 400 Detail @ Roof level
- 300 Detail @ Upper Floor level
- 200 Detail @ Main Floor level
- 100 Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

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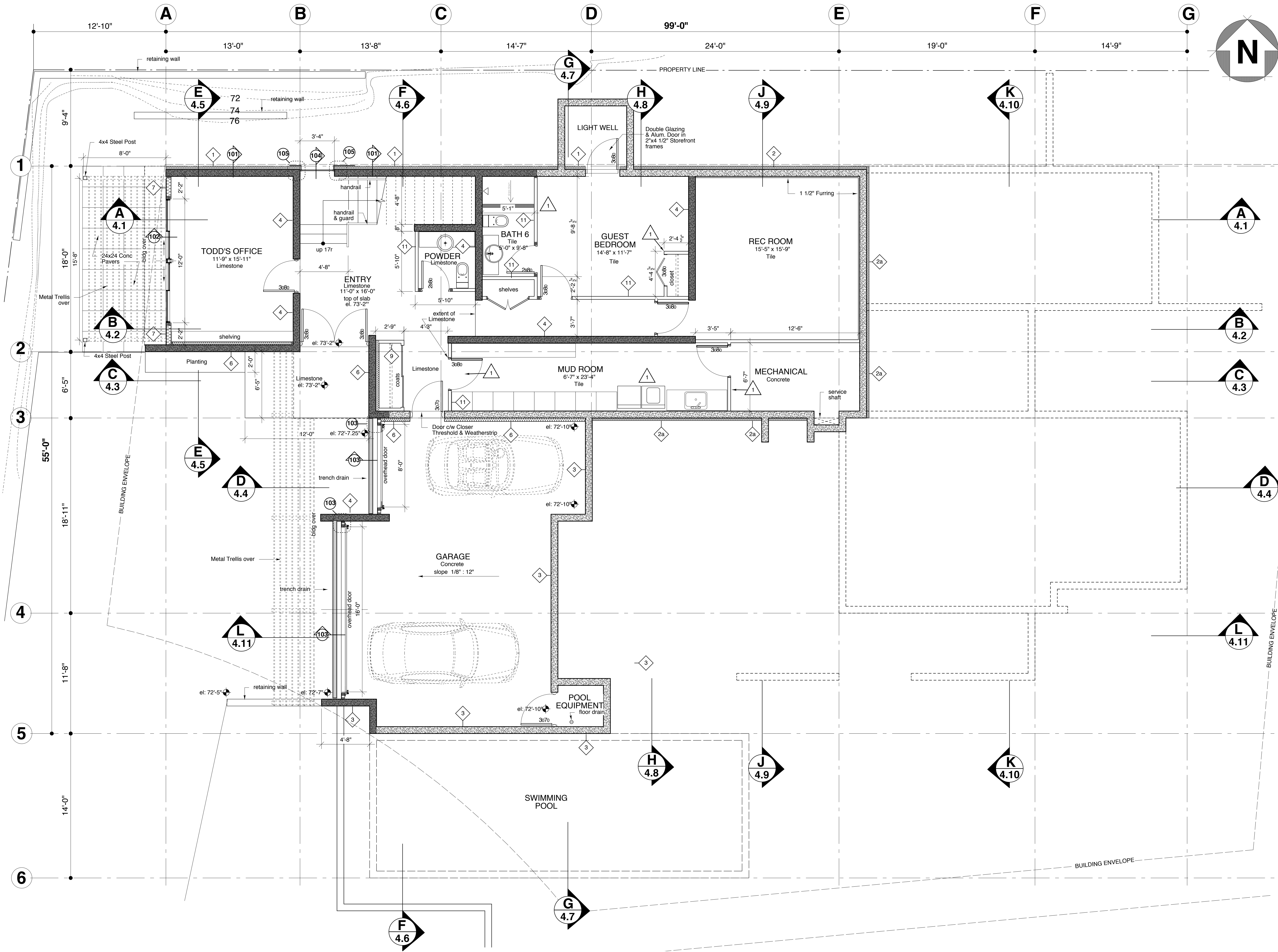
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**FOUNDATION LAYOUT PLAN**

Scale: 1/4" = 1'-0"  
1 3 6 10



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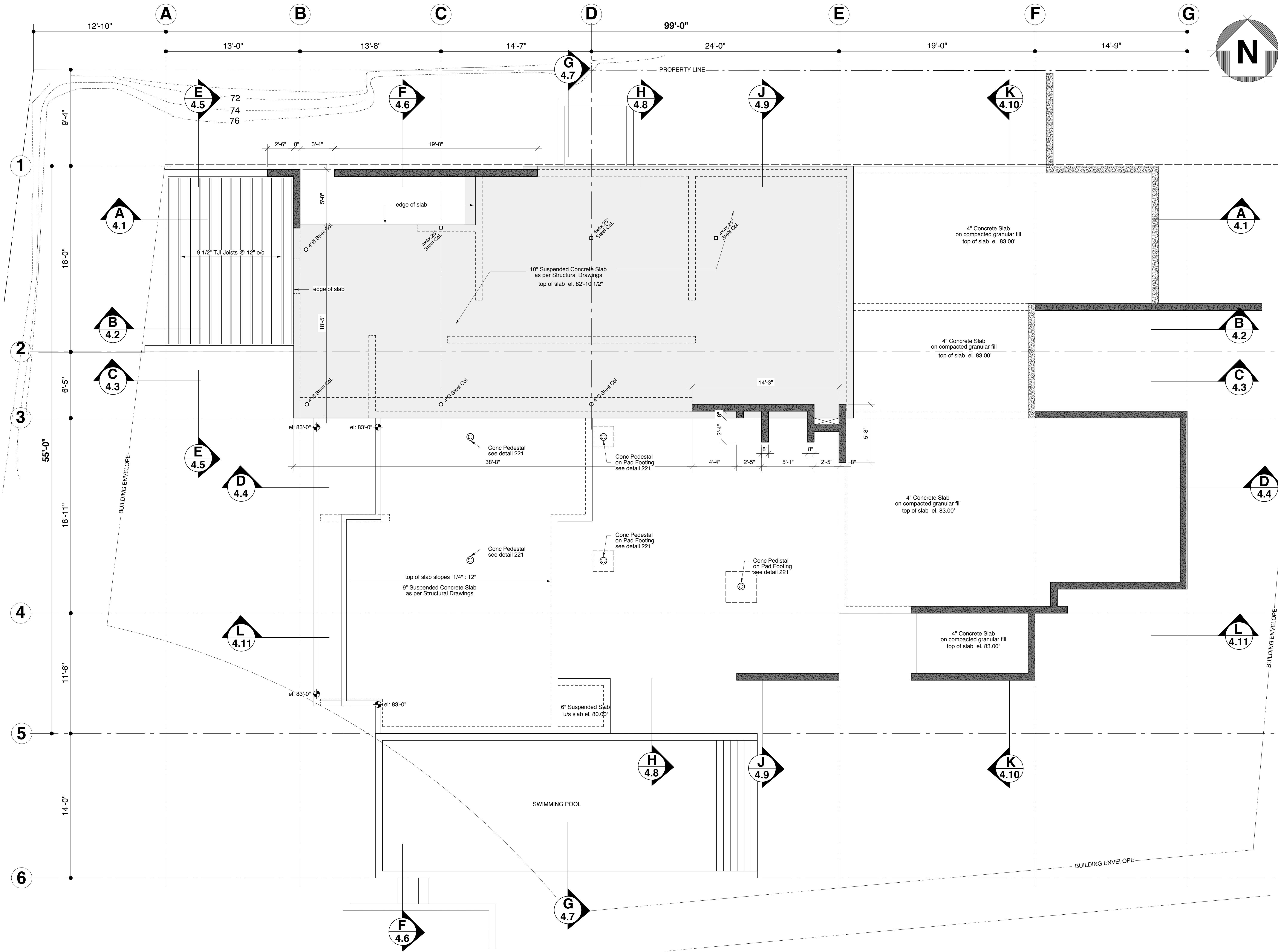
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**BASEMENT FLOOR PLAN**  
Scale: 1/4" = 1'-0"  
1 3 6 10



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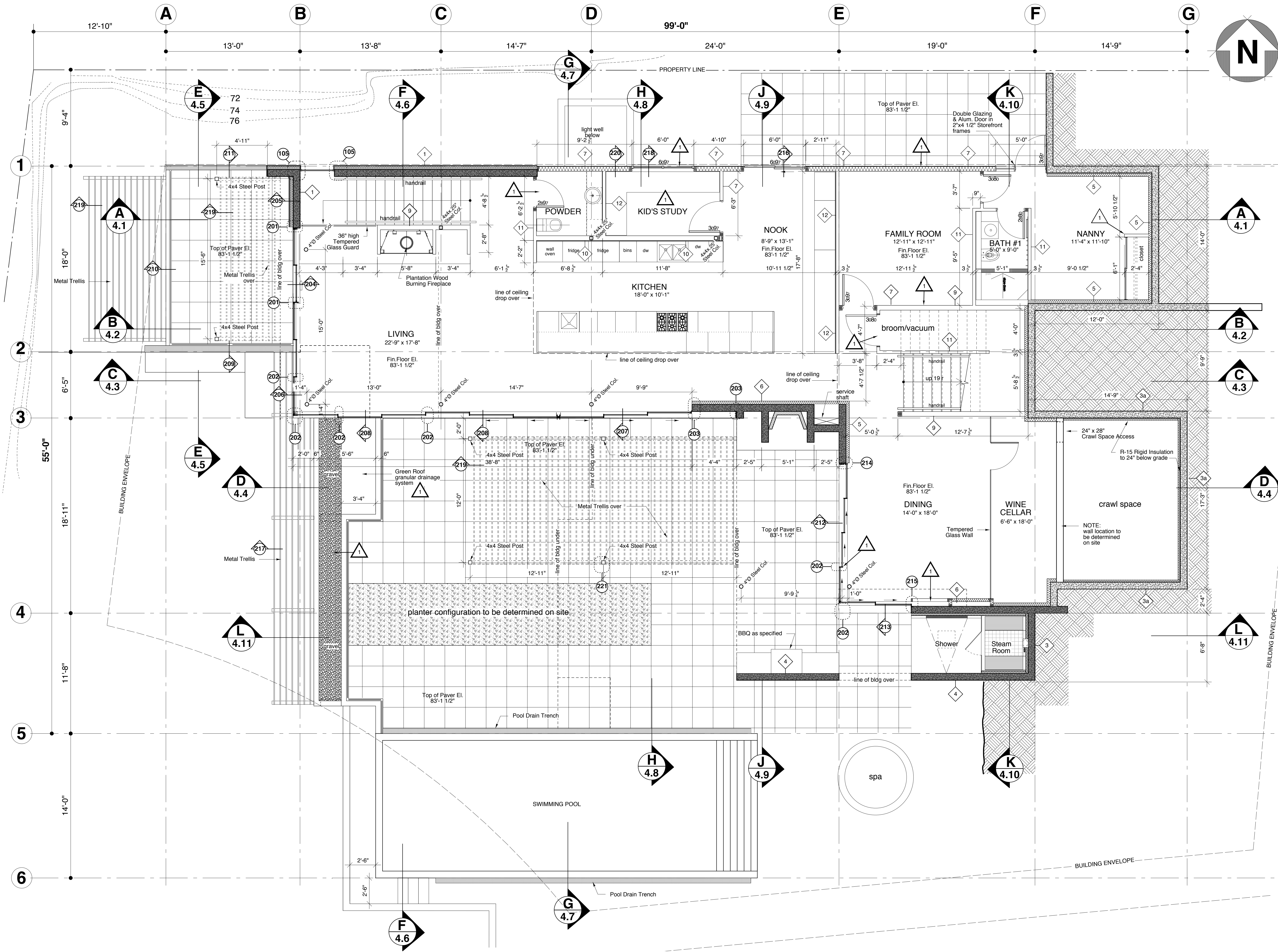
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**MAIN FLOOR  
SLAB PLAN**

Scale: 1/4" = 1'-0"  
1 3 6 10



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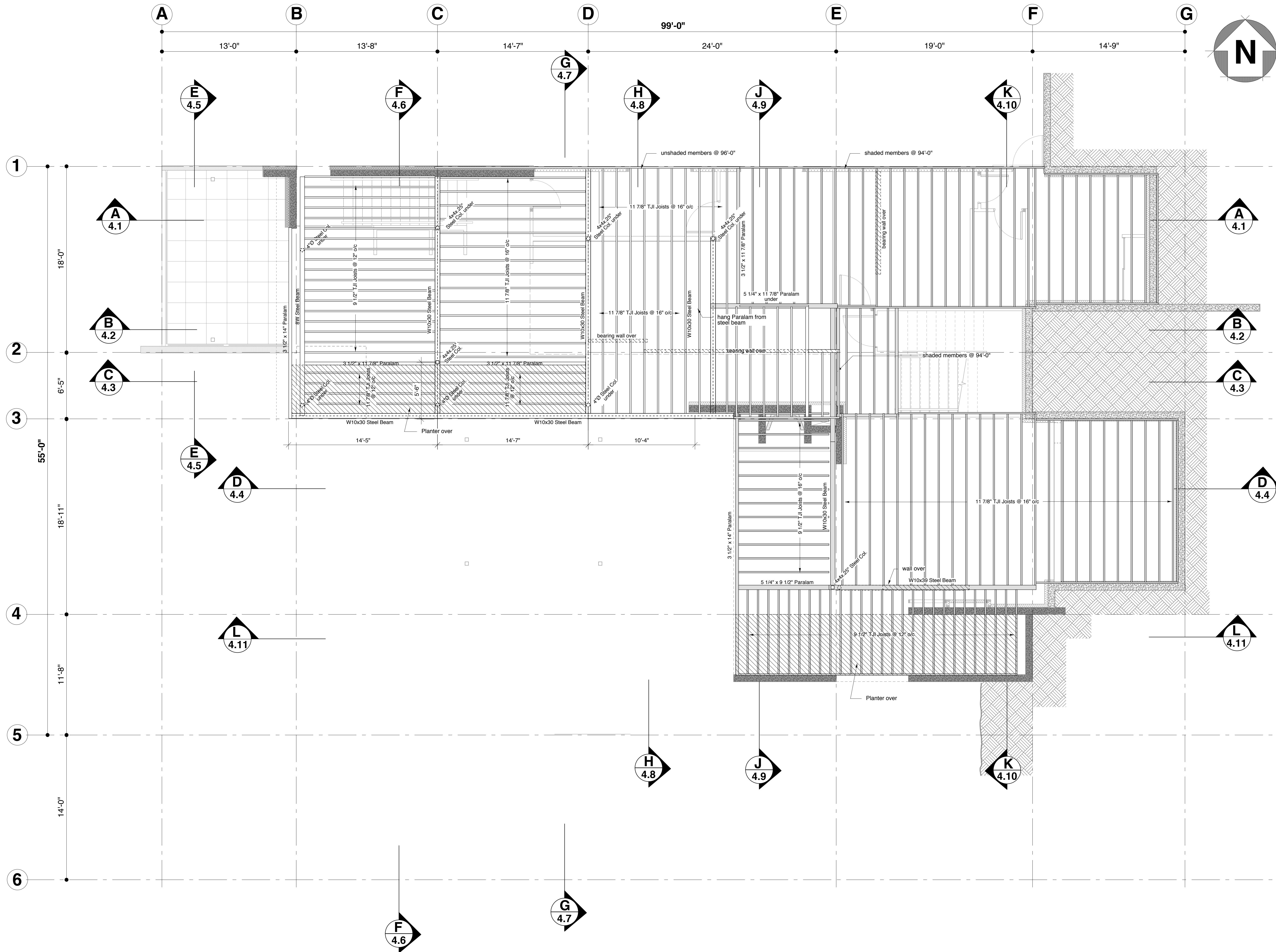
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**MAIN FLOOR PLAN**  
Scale: 1/4" = 1'-0"  
1 3 6 10



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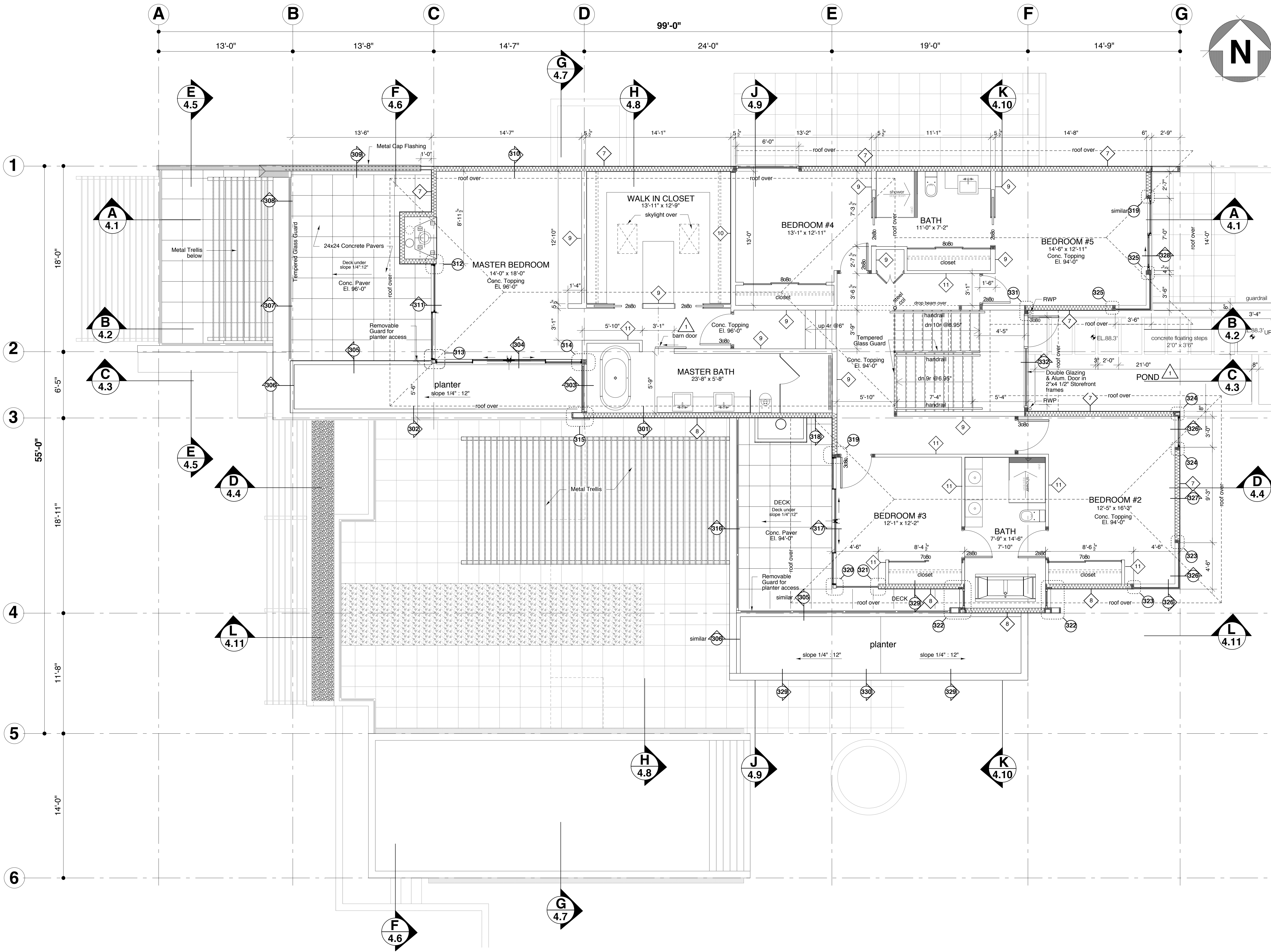
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Upper Floor Structure  
Scale: 1/4" = 1'-0"  
1 3 6 10



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**UPPER FLOOR PLAN**  
Scale: 1/4" = 1'-0"  
1 3 6 10

99'-0"

13'-0"

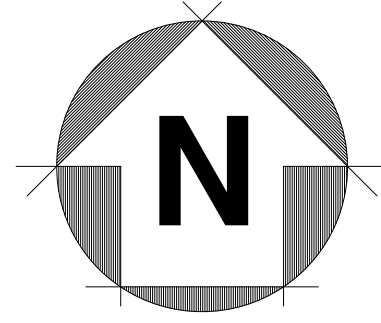
13'-8"

14'-7"

24'-0"

19'-0"

14'-9"



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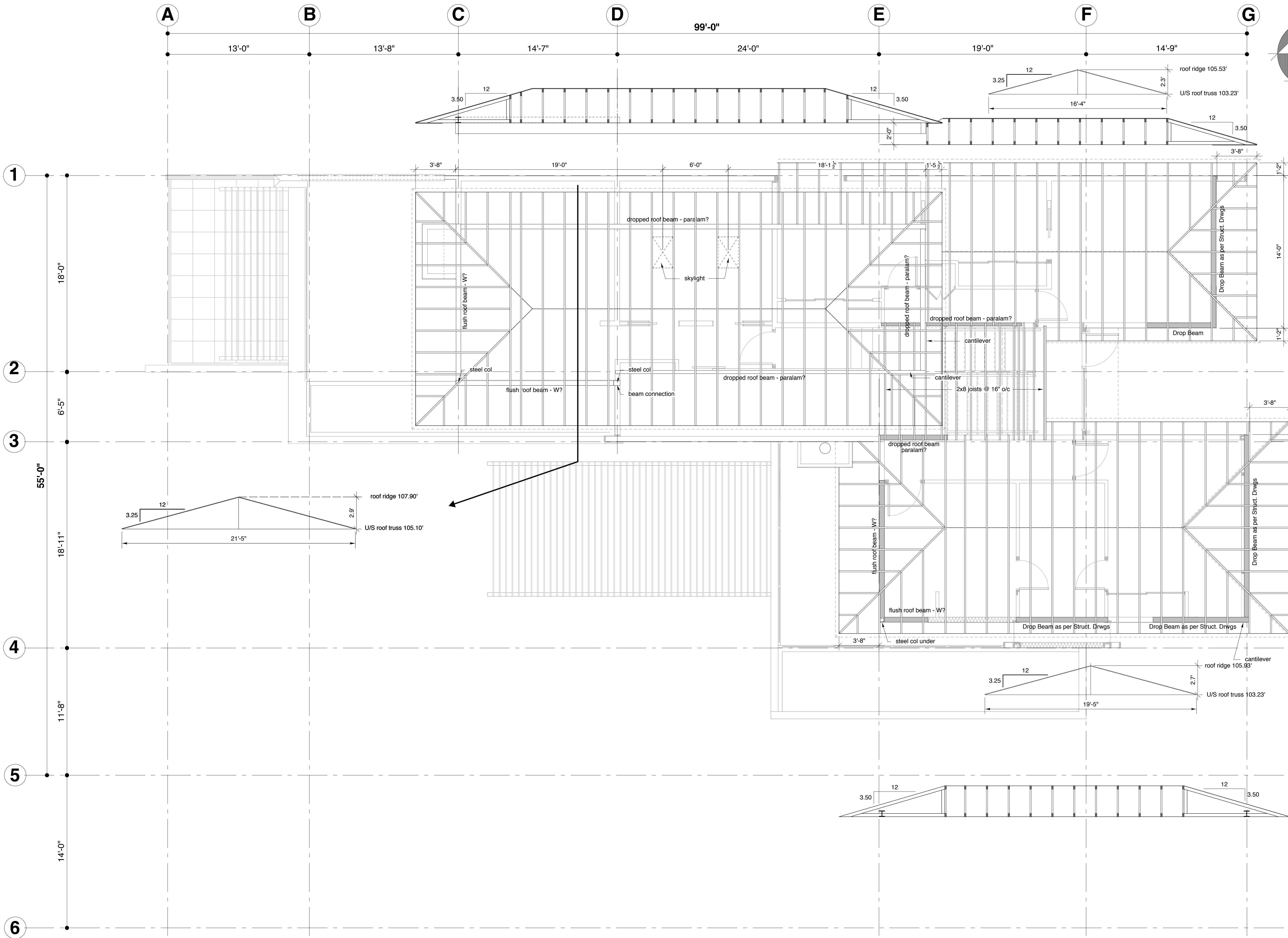
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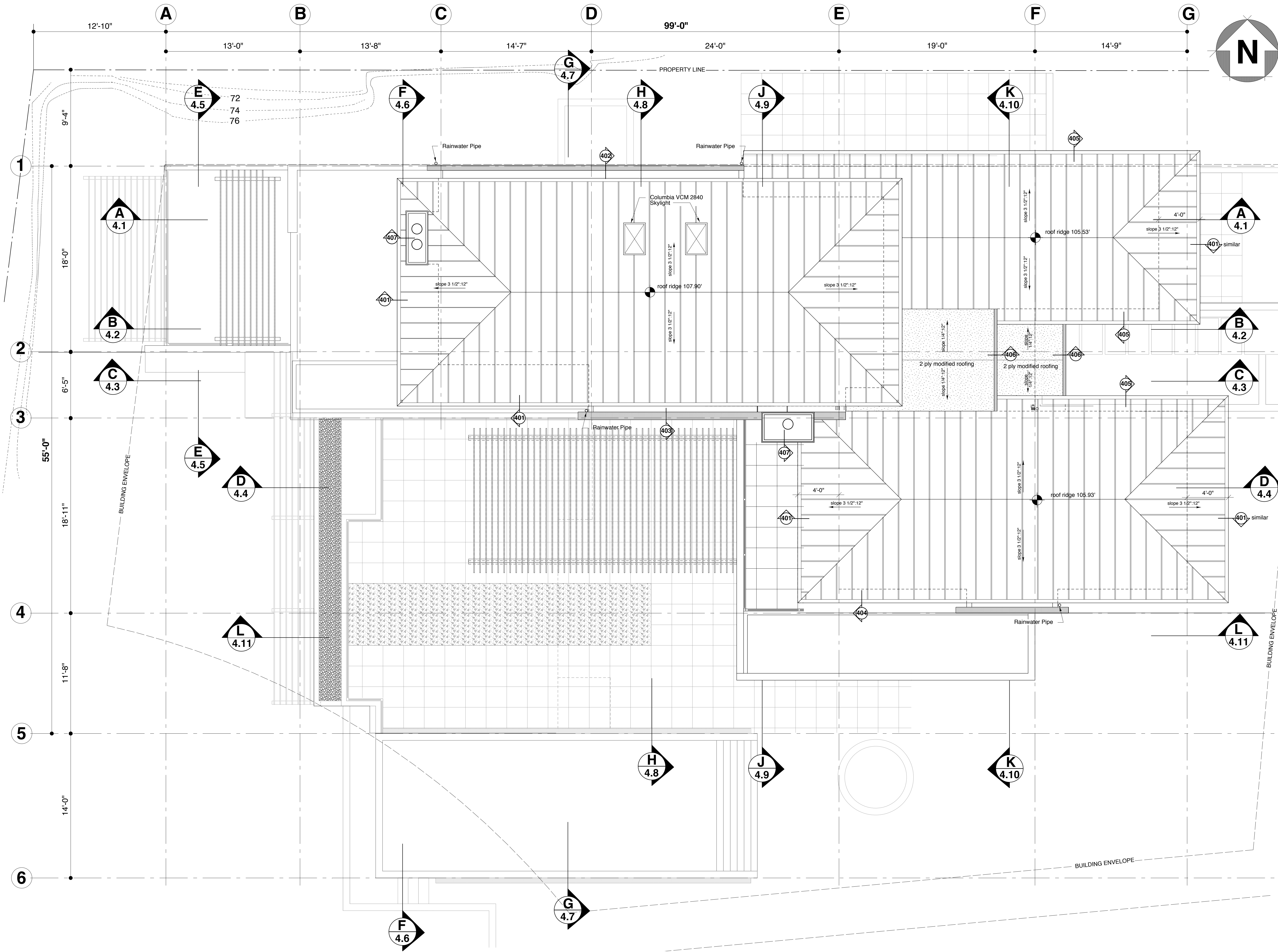
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**ROOF FRAMING PLAN**  
Scale: 1/4" = 1'-0"







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**ROOF PLAN**  
Scale: 1/4" = 1'-0"  
1 3 6 10

**GENERAL NOTES**

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


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


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DATE: 11/06/14

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PROJECT:

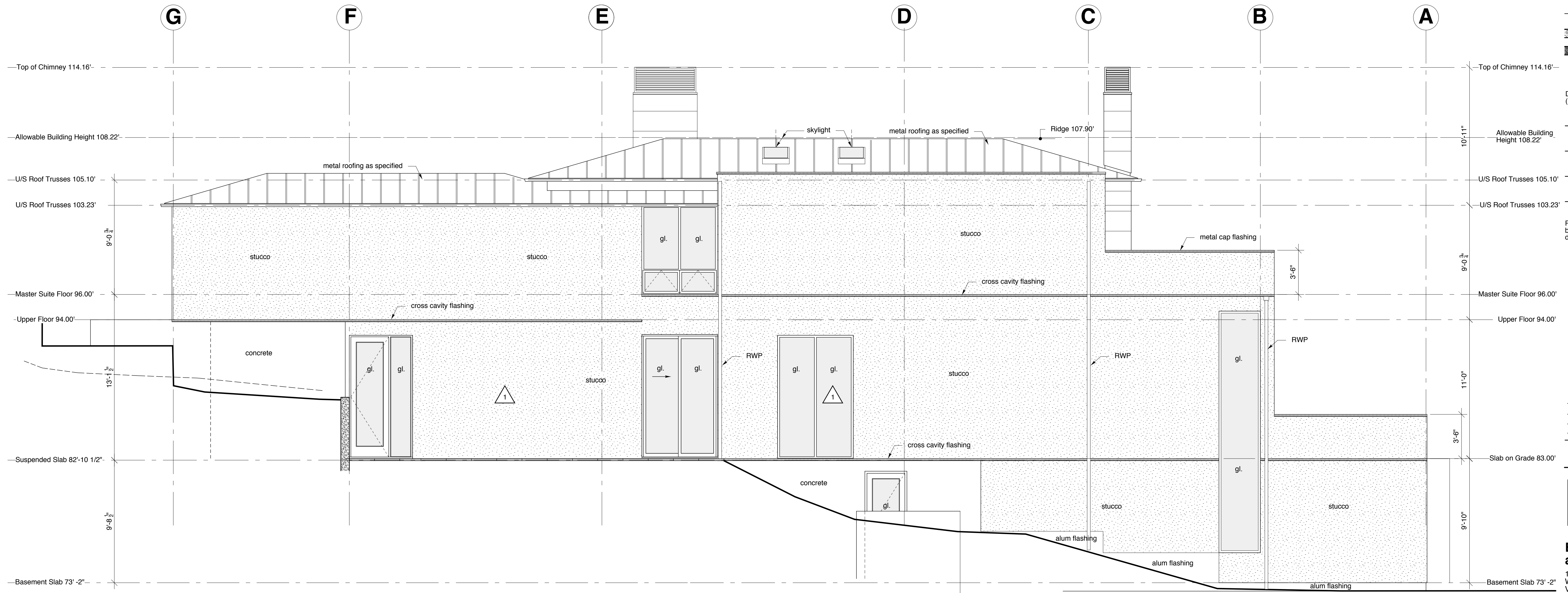
6132 Bonnie Bay Place  
West Vancouver, BC

**NORTH ELEVATION**

Scale: 1/4" = 1'-0"



**3.1**



**NORTH ELEVATION**

**GENERAL NOTES**

(apply to all drawings)

This Building has been designed in conformance with the British Columbia Building Code (BCBC) latest edition and to all local codes. All construction to conform to applicable codes.




The Contractor and Sub-Contractors shall verify all dimensions on site and report any discrepancy to the Architect prior to start of construction. Final dimensions of all components is the Contractor's responsibility.

**Dimensions**





All exterior dimensions are to face of concrete or to face of plywood sheathing.

All interior dimensions are to face of stud unless otherwise noted.


Construction Assembly Reference (refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
|----------|---|
| 11/07/14 | Minor Revisions  |
| 11/06/14 | Issued for Construction   |
| 10/10/23 | Design Revision   |
| 10/10/19 | Issued for Building Permit  |

**REVISIONS:**

**bai**

**Burgers architecture inc.**

107- 657 MARINE DRIVE  
WEST VANCOUVER, BC  
V7T 1A4

PH 604 926 6058  
FAX 604 926 9141  
email: info@baiarchitects.com

DATE: 11/06/14

DRAWN: www.negus.ca

PROJECT:

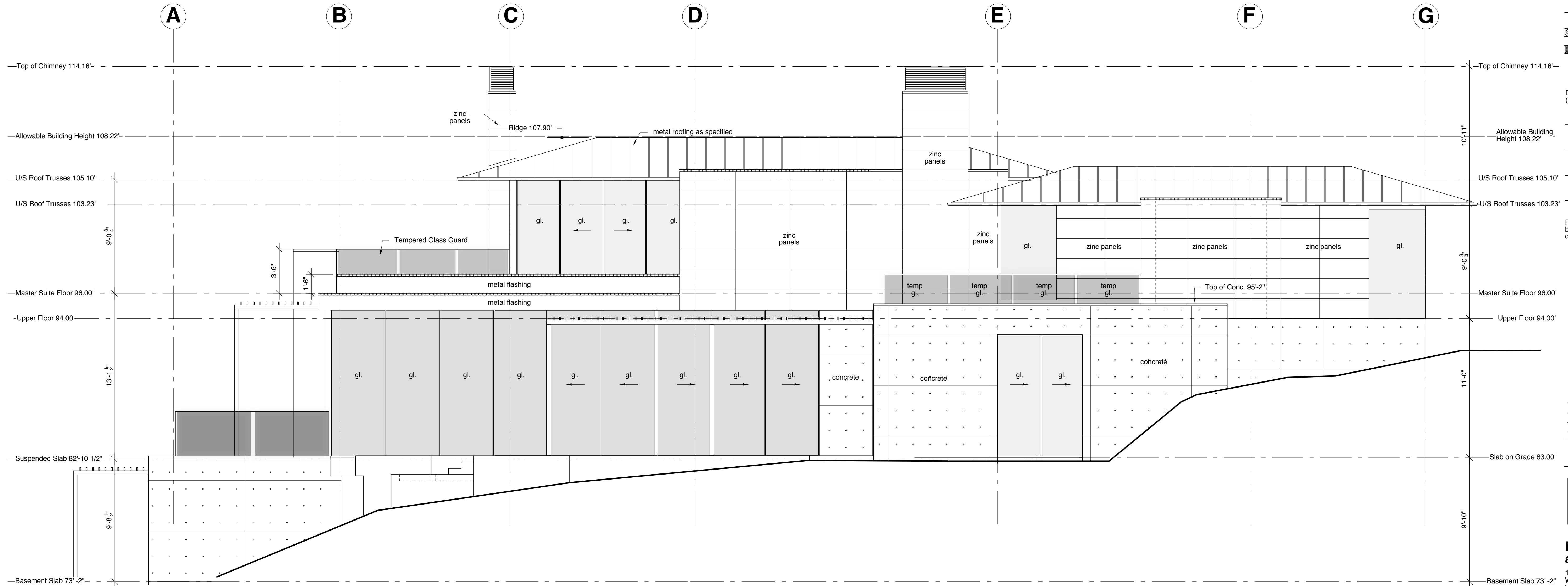
6132 Bonnie Bay Place  
West Vancouver, BC

**SOUTH ELEVATION**

Scale: 1/4" = 1'-0"



**3.2**



**SOUTH ELEVATION**

**GENERAL NOTES**




(apply to all drawings)

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

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**Dimensions**  
All exterior dimensions are to face of concrete or to face of plywood sheathing.  
All interior dimensions are to face of stud unless otherwise noted.


**Construction Assembly Reference**  
(refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
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| 10/10/23 | Design Revision   |
| 10/10/19 | Issued for Building Permit  |

REVISIONS:

**bai**

**Burgers architecture inc.**

107- 657 MARINE DRIVE  
WEST VANCOUVER, BC  
V7T 1A4

PH 604 926 6058  
FAX 604 926 9141  
email: info@baiarchitects.com

DATE: 11/06/14

DRAWN: www.negus.ca

PROJECT:

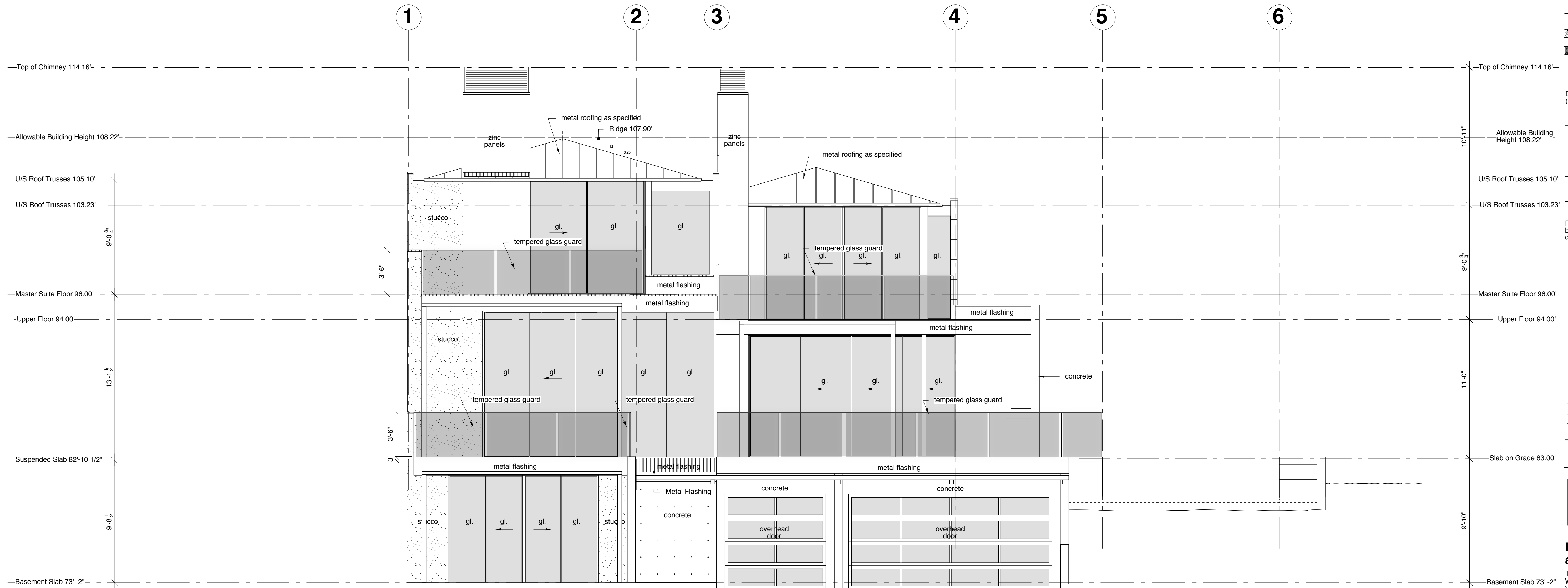
6132 Bonnie Bay Place  
West Vancouver, BC

**WEST ELEVATION**

Scale: 1/4" = 1'-0"



**3.3**



**WEST ELEVATION**

**GENERAL NOTES**

(apply to all drawings)

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**Dimensions**





All exterior dimensions are to face of concrete or to face of plywood sheathing.

All interior dimensions are to face of stud unless otherwise noted.


Construction Assembly Reference (refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
|----------|---|
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**REVISIONS:**

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V7T 1A4

PH 604 926 6058  
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email: info@baiarchitects.com

DATE: 11/06/14

DRAWN: www.negus.ca

PROJECT:

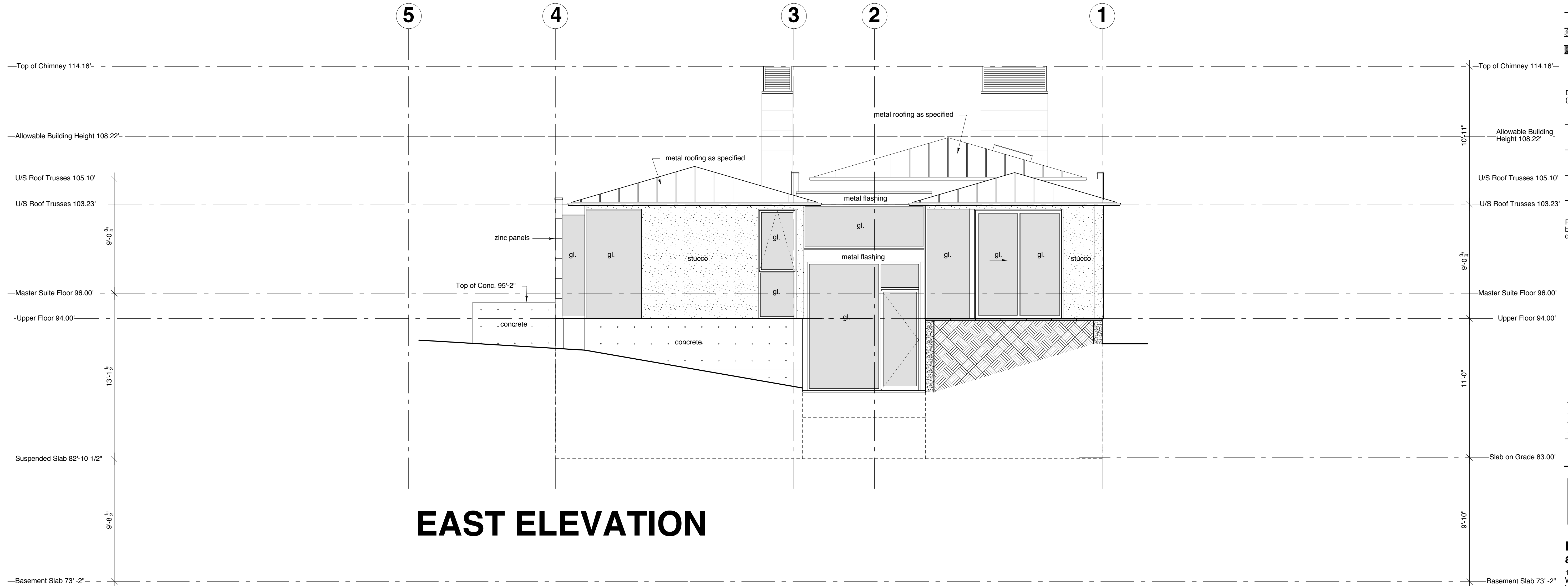
6132 Bonnie Bay Place  
West Vancouver, BC

**EAST ELEVATION**

Scale: 1/4" = 1'-0"



**3.4**



**GENERAL NOTES**  
(apply to all drawings)

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**Dimensions**  
All exterior dimensions are to face of concrete or to face of plywood sheathing.  
All interior dimensions are to face of stud unless otherwise noted.  
**Construction Assembly Reference**  
(refer to detail book)

- 3 Denote Wall Assembly
- Std. Concrete
- White Concrete

- Detail References**  
(refer to detail book)
- 400 Detail @ Roof level
  - 300 Detail @ Upper Floor level
  - 200 Detail @ Main Floor level
  - 100 Detail @ Basement level
- Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

|          |                            |   |
|----------|----------------------------|---|
| 11/07/14 | Minor Revisions            | 1 |
| 11/06/14 | Issued for Construction    |   |
| 10/10/23 | Design Revision            |   |
| 10/10/19 | Issued for Building Permit |   |
| Date     | Description                |   |

**REVISIONS:**

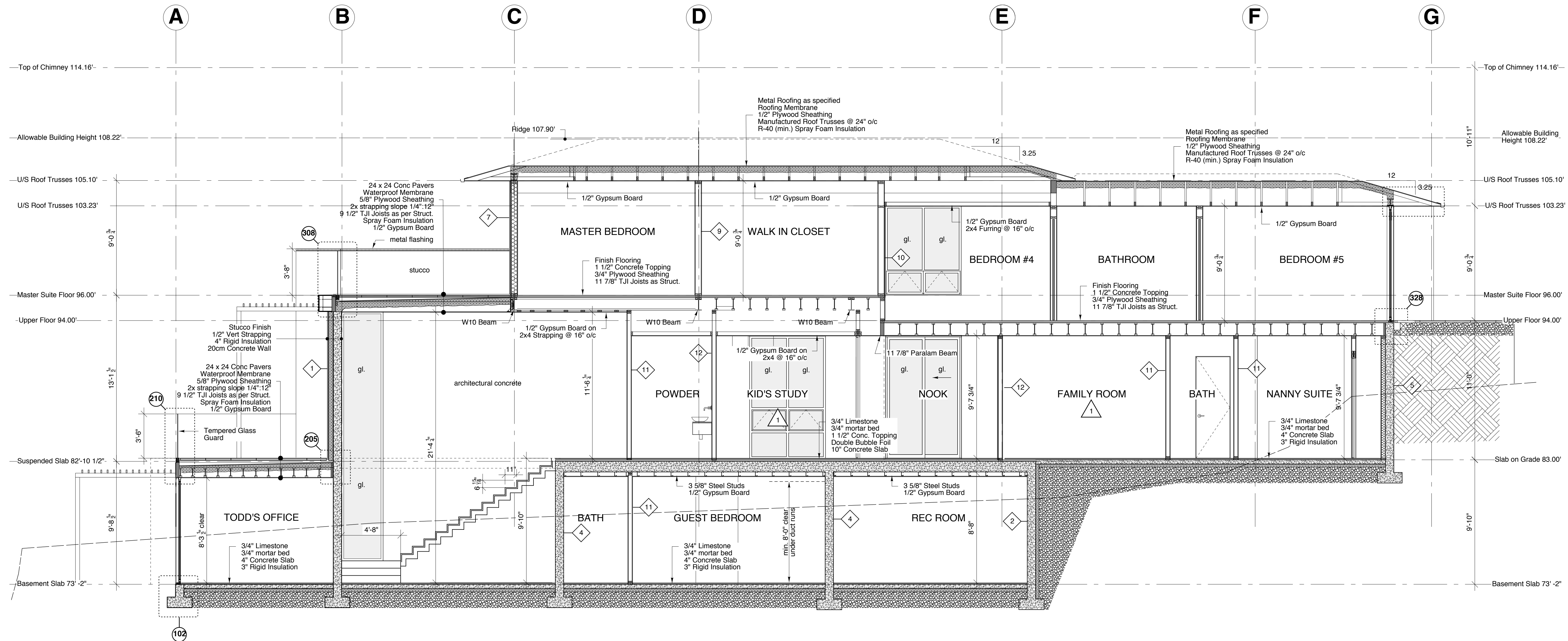
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V7T 1A4  
PH 604 926 6058  
FAX 604 926 9141  
email: info@baiarchitects.com

DATE: 11/06/14  
DRAWN: www.negus.ca  
PROJECT:

6132 Bonnie Bay Place  
West Vancouver, BC

**BUILDING SECTION A-A**

Scale: 1/4" = 1'-0"  
1 3 6 10






**SECTION A-A**





**GENERAL NOTES**  
(apply to all drawings)

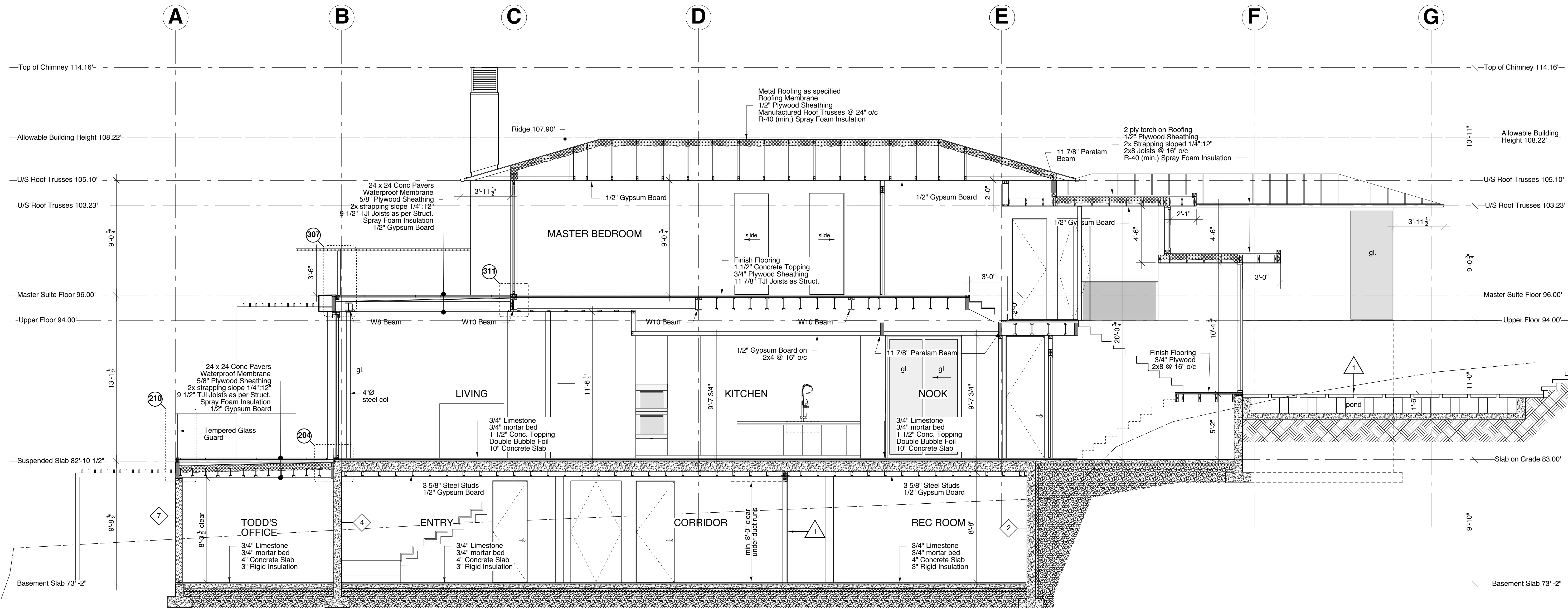
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**Construction Assembly Reference**  
(refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

- Detail References**  
(refer to detail book)
-  Detail @ Roof level
  -  Detail @ Upper Floor level
  -  Detail @ Main Floor level
  -  Detail @ Basement level
- Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.



**SECTION B-B**


| Date     | Description                |
|----------|----------------------------|
| 11/07/14 | Minor Revisions            |
| 11/06/14 | Issued for Construction    |
| 10/10/23 | Design Revision            |
| 10/10/19 | Issued for Building Permit |

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FAX 604 926 9141  
email: info@baiarchitects.com

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DRAWN: www.negus.ca  
PROJECT:

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West Vancouver, BC

**BUILDING SECTION B-B**  
Scale: 1/4" = 1'-0"  


**GENERAL NOTES**

(apply to all drawings)

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


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**Dimensions**





All exterior dimensions are to face of concrete or to face of plywood sheathing.

All interior dimensions are to face of stud unless otherwise noted.


Construction Assembly Reference (refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
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| 10/10/19 | Issued for Building Permit  |


**REVISIONS:**

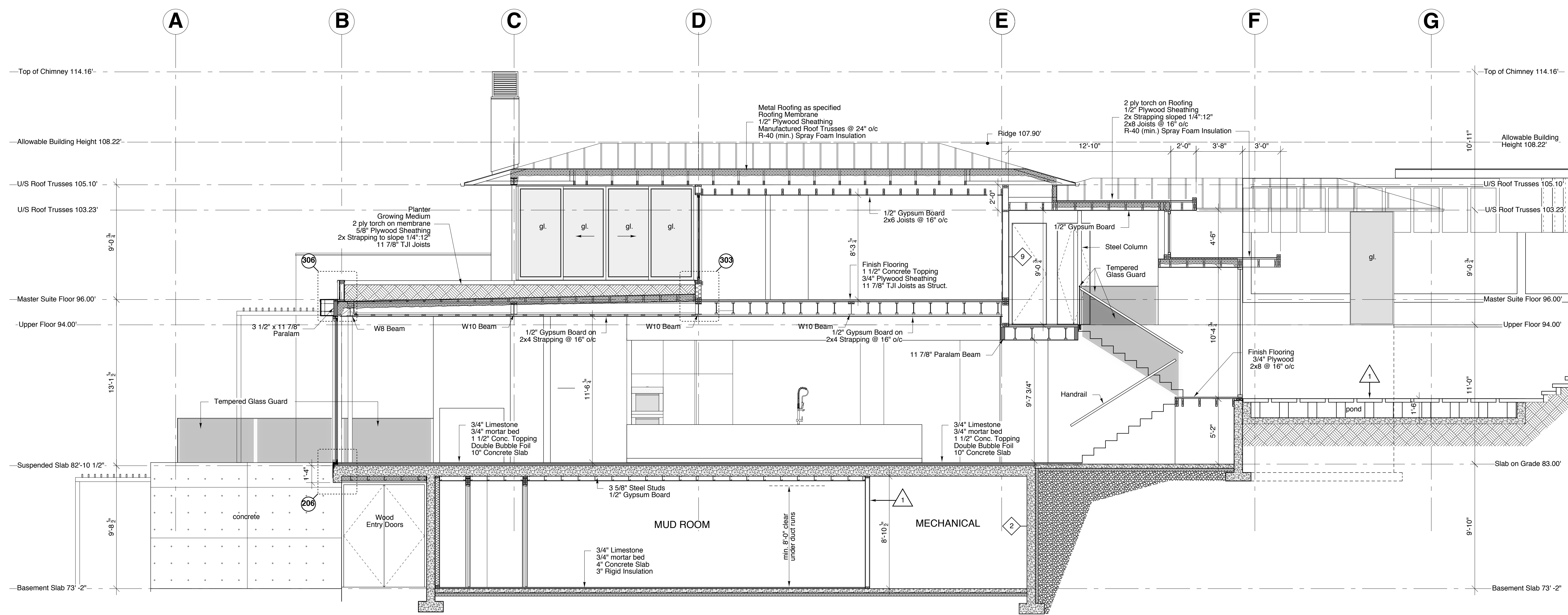
**bai**  
**Burgers architecture inc.**  
 107-657 MARINE DRIVE  
 WEST VANCOUVER, BC  
 V7T 1A4  
 PH 604 926 6058  
 FAX 604 926 9141  
 email: info@baiarchitects.com

DATE: 11/06/14  
 DRAWN: www.negus.ca  
 PROJECT:

6132 Bonnie Bay Place  
 West Vancouver, BC

**BUILDING SECTION C-C**

Scale: 1/4" = 1'-0"  




**SECTION C-C**



**GENERAL NOTES**

(apply to all drawings)

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**Dimensions**

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Construction Assembly Reference (refer to detail book)

- 3 Denote Wall Assembly
- Std. Concrete
- White Concrete

**Detail References**  
(refer to detail book)

- 400 Detail @ Roof level
- 300 Detail @ Upper Floor level
- 200 Detail @ Main Floor level
- 100 Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

|          |                            |   |
|----------|----------------------------|---|
| 11/07/14 | Minor Revisions            | 1 |
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| 10/10/23 | Design Revision            |   |
| 10/10/19 | Issued for Building Permit |   |
| Date     | Description                |   |

**REVISIONS:**

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WEST VANCOUVER, BC  
V7T 1A4

PH 604 926 6058  
FAX 604 926 9141  
email: info@baiarchitects.com

DATE: 11/06/14

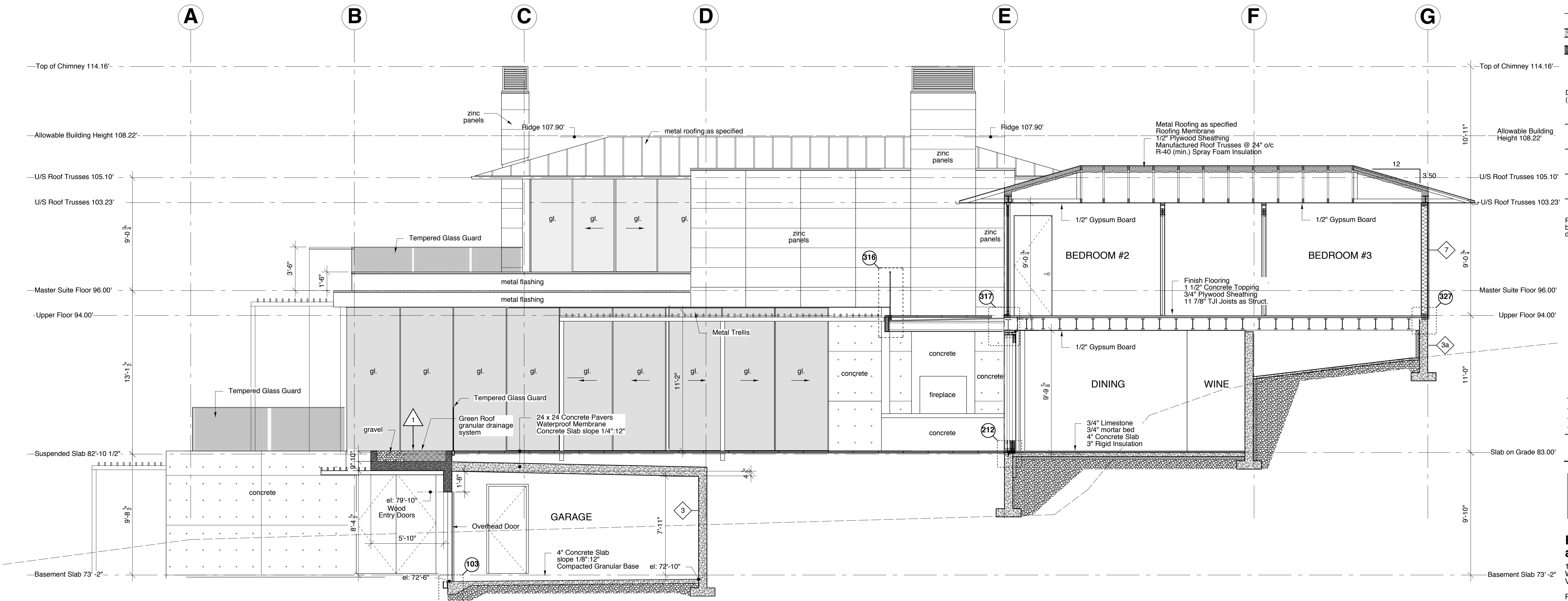
DRAWN: www.negus.ca

PROJECT:

6132 Bonnie Bay Place  
West Vancouver, BC

**BUILDING SECTION D-D**

Scale: 1/4" = 1'-0"



**SECTION D-D**




**GENERAL NOTES**  
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

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**Dimensions**  
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**Construction Assembly Reference**  
(refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

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REVISIONS:

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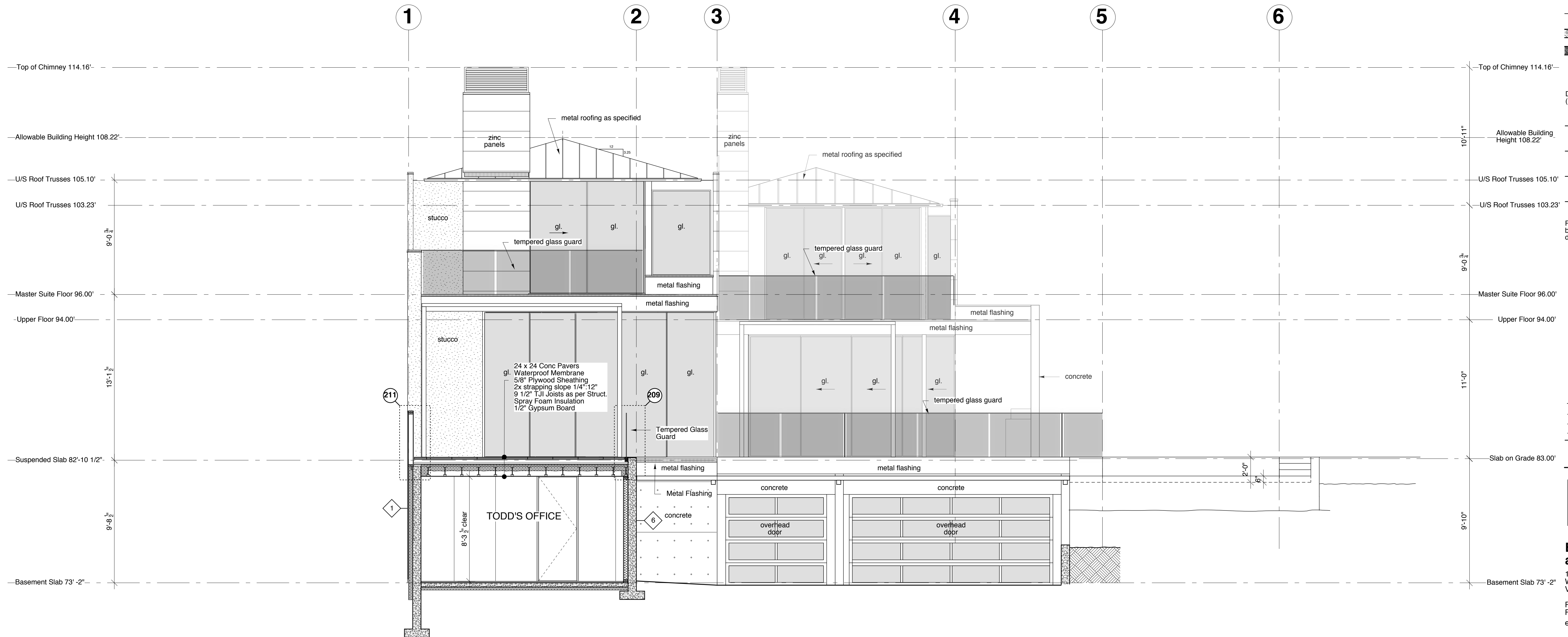
DRAWN: www.negus.ca

PROJECT:

6132 Bonnie Bay Place  
West Vancouver, BC

**BUILDING SECTION E-E**

Scale: 1/4" = 1'-0"



**SECTION E-E**




**GENERAL NOTES**  
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

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**Dimensions**  
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**Construction Assembly Reference**  
(refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

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|----------|---|
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| 10/10/23 | Design Revision   |
| 10/10/19 | Issued for Building Permit  |

REVISIONS:

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**Burgers architecture inc.**  
107- 657 MARINE DRIVE  
WEST VANCOUVER, BC  
V7T 1A4

PH 604 926 6058  
FAX 604 926 9141  
email: info@baiarchitects.com

DATE: 11/06/14

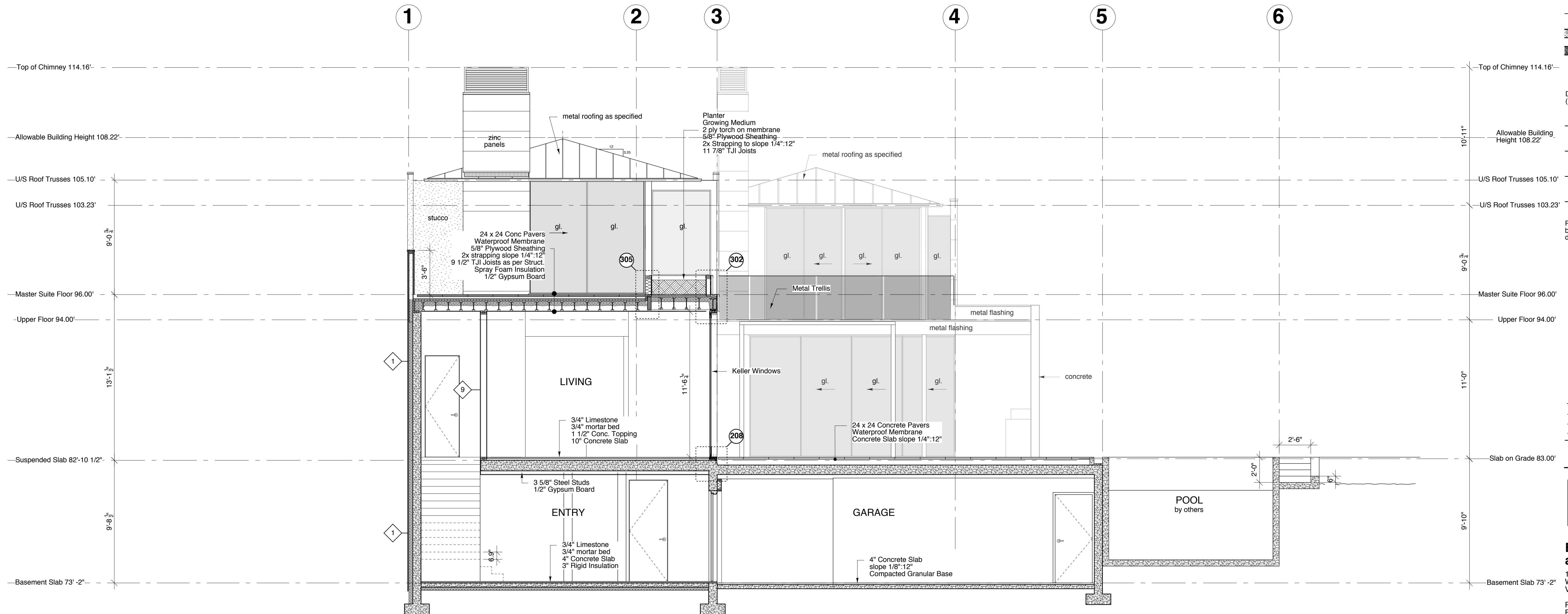
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PROJECT:

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West Vancouver, BC

**BUILDING SECTION F-F**

Scale: 1/4" = 1'-0"



**SECTION F-F**

**GENERAL NOTES**

(apply to all drawings)

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


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**Dimensions**





All exterior dimensions are to face of concrete or to face of plywood sheathing.

All interior dimensions are to face of stud unless otherwise noted.


Construction Assembly Reference (refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

**Detail References**  
(refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
|----------|---|
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| 10/10/19 | Issued for Building Permit  |

**REVISIONS:**

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PROJECT:

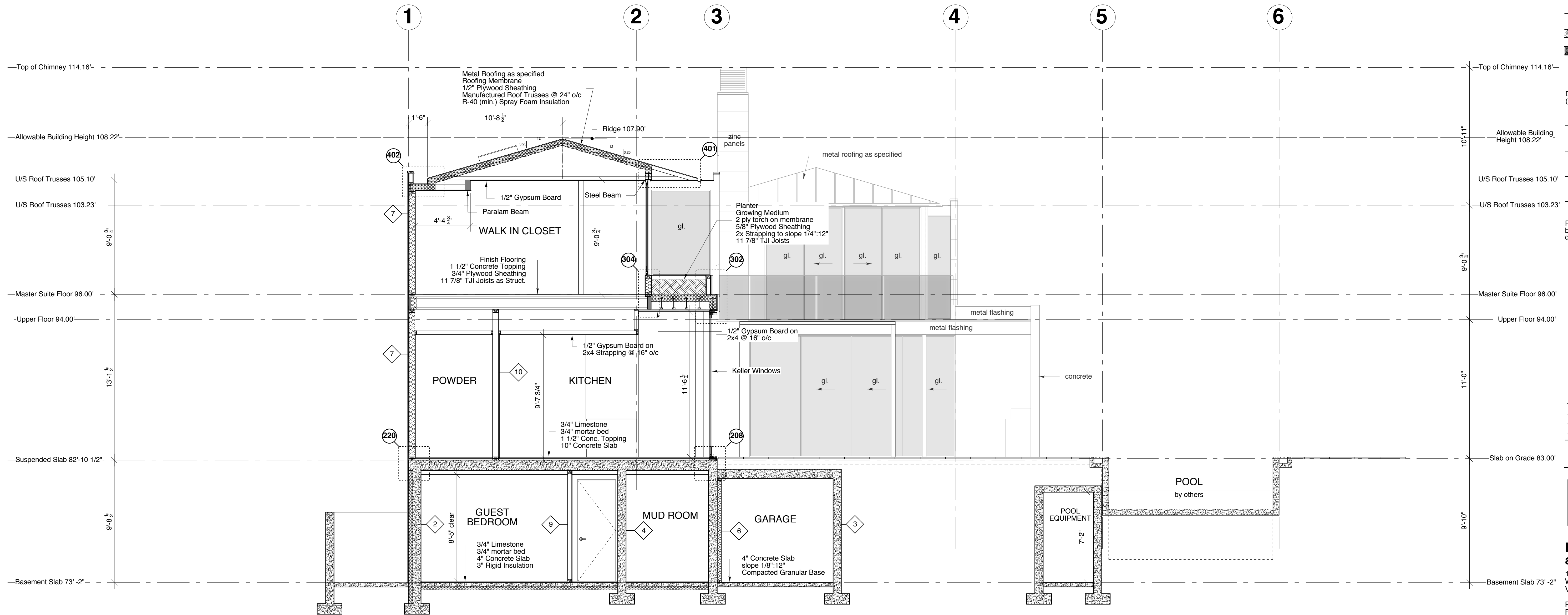
6132 Bonnie Bay Place  
West Vancouver, BC

**BUILDING SECTION G-G**

Scale: 1/4" = 1'-0"



**4.7**



**SECTION G-G**

**GENERAL NOTES**

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**Dimensions**





All exterior dimensions are to face of concrete or to face of plywood sheathing.

All interior dimensions are to face of stud unless otherwise noted.


Construction Assembly Reference (refer to detail book)

-  Denote Wall Assembly
-  Std. Concrete
-  White Concrete

Detail References (refer to detail book)

-  Detail @ Roof level
-  Detail @ Upper Floor level
-  Detail @ Main Floor level
-  Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
|----------|---|
| 11/07/14 | Minor Revisions  |
| 11/06/14 | Issued for Construction   |
| 10/10/23 | Design Revision   |
| 10/10/19 | Issued for Building Permit  |

**REVISIONS:**

**bai**

**Burgers architecture inc.**

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FAX 604 926 9141  
email: info@baiarchitects.com

DATE: 11/06/14

DRAWN: www.negus.ca

PROJECT:

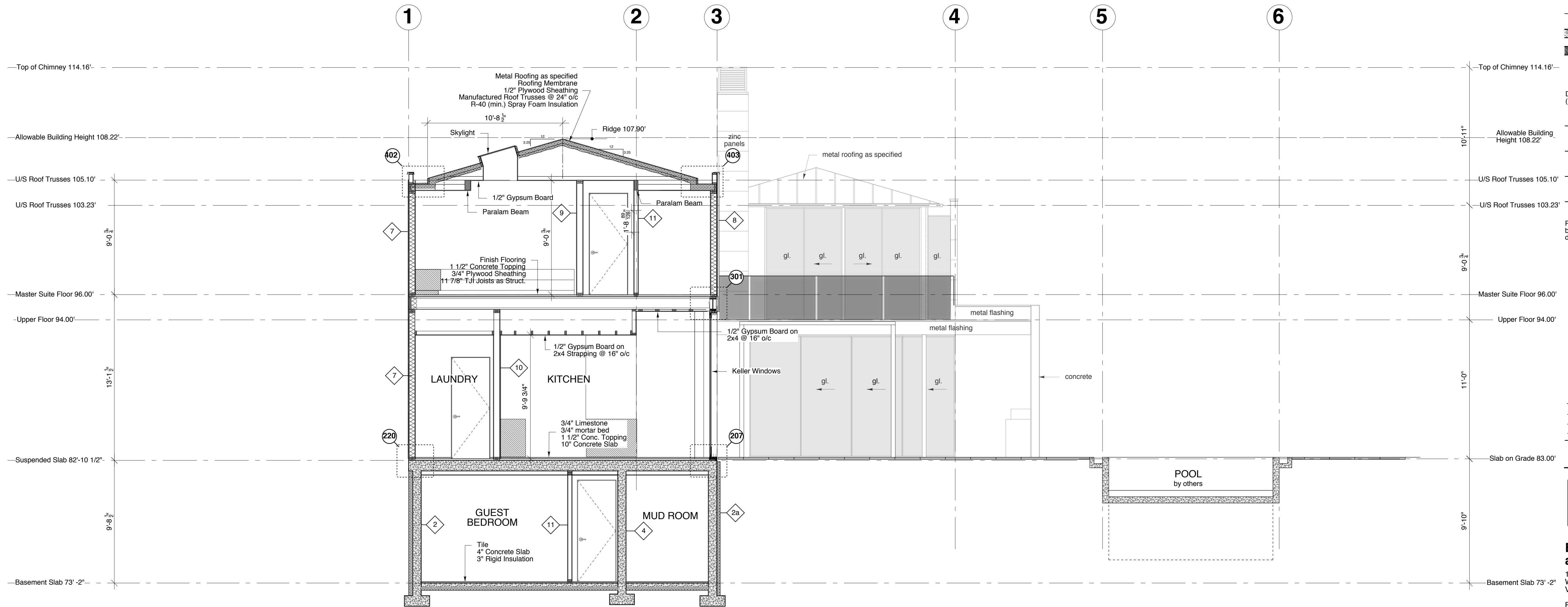
6132 Bonnie Bay Place  
West Vancouver, BC

**BUILDING SECTION H-H**

Scale: 1/4" = 1'-0"



**4.8**



**SECTION H-H**

**GENERAL NOTES**

(apply to all drawings)

This Building has been designed in conformance with the British Columbia Building Code (BCBC) latest edition and to all local codes. All construction to conform to applicable codes.

The Contractor and Sub-Contractors shall verify all dimensions on site and report any discrepancy to the Architect prior to start of construction. Final dimensions of all components is the Contractor's responsibility.

**Dimensions**

All exterior dimensions are to face of concrete or to face of plywood sheathing.

All interior dimensions are to face of stud unless otherwise noted.

Construction Assembly Reference (refer to detail book)

- ③ Denote Wall Assembly
- Std. Concrete
- White Concrete

**Detail References**  
(refer to detail book)

- ④00 Detail @ Roof level
- ③00 Detail @ Upper Floor level
- ②00 Detail @ Main Floor level
- ①00 Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description                |
|----------|----------------------------|
| 11/07/14 | Minor Revisions            |
| 11/06/14 | Issued for Construction    |
| 10/10/23 | Design Revision            |
| 10/10/19 | Issued for Building Permit |

**REVISIONS:**

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DATE: 11/06/14

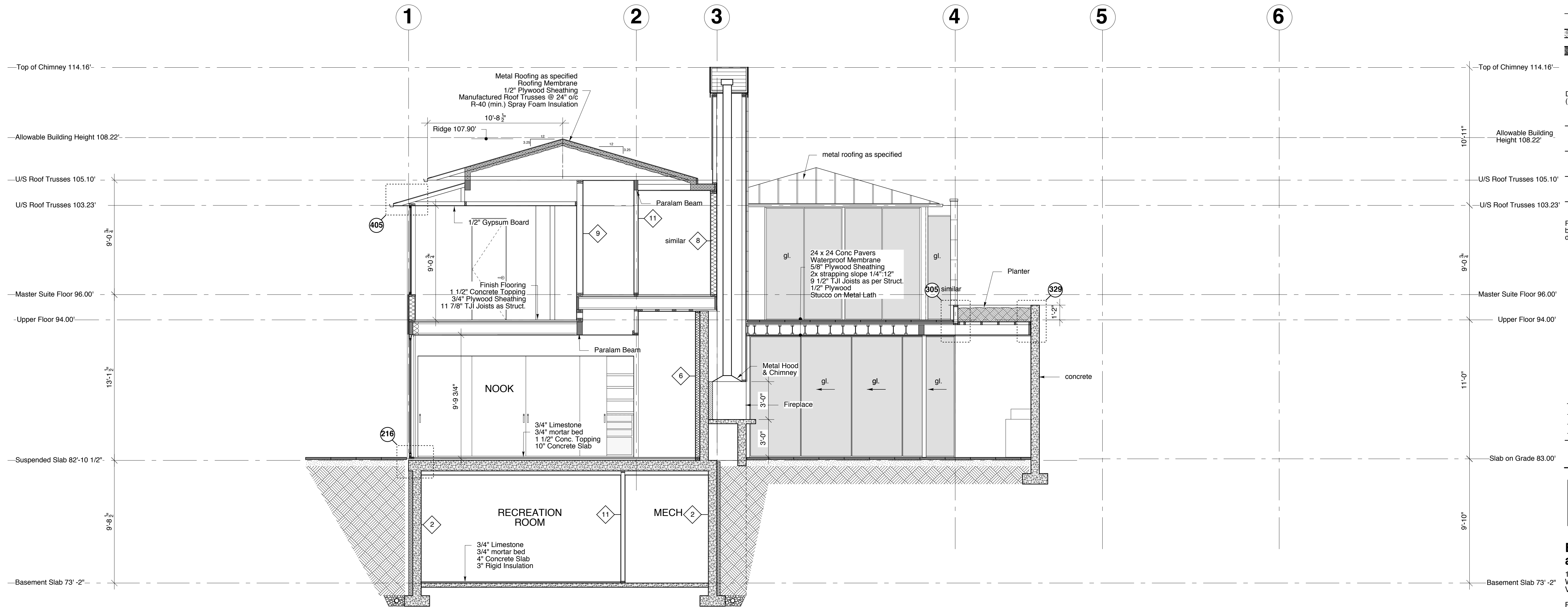
DRAWN: www.negus.ca

PROJECT:

6132 Bonnie Bay Place  
 West Vancouver, BC

**BUILDING SECTION J-J**

Scale: 1/4" = 1'-0"





**SECTION J-J**

**GENERAL NOTES**  
(apply to all drawings)

This Building has been designed in conformance with the British Columbia Building Code (BCBC) latest edition and to all local codes. All construction to conform to applicable codes.

The Contractor and Sub-Contractors shall verify all dimensions on site and report any discrepancy to the Architect prior to start of construction. Final dimensions of all components is the Contractor's responsibility.


**Dimensions**  
All exterior dimensions are to face of concrete or to face of plywood sheathing.  
All interior dimensions are to face of stud unless otherwise noted.  
**Construction Assembly Reference**  
(refer to detail book)

③ Denote Wall Assembly  
 Std. Concrete  
 White Concrete

**Detail References**  
(refer to detail book)

④ Detail @ Roof level  
 ③ Detail @ Upper Floor level  
 ② Detail @ Main Floor level  
 ① Detail @ Basement level

Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description   |
|----------|---|
| 11/07/14 | Minor Revisions  |
| 11/06/14 | Issued for Construction   |
| 10/10/23 | Design Revision   |
| 10/10/19 | Issued for Building Permit  |

REVISIONS:

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 email: info@baiarchitects.com

DATE: 11/06/14

DRAWN: www.negus.ca

PROJECT:

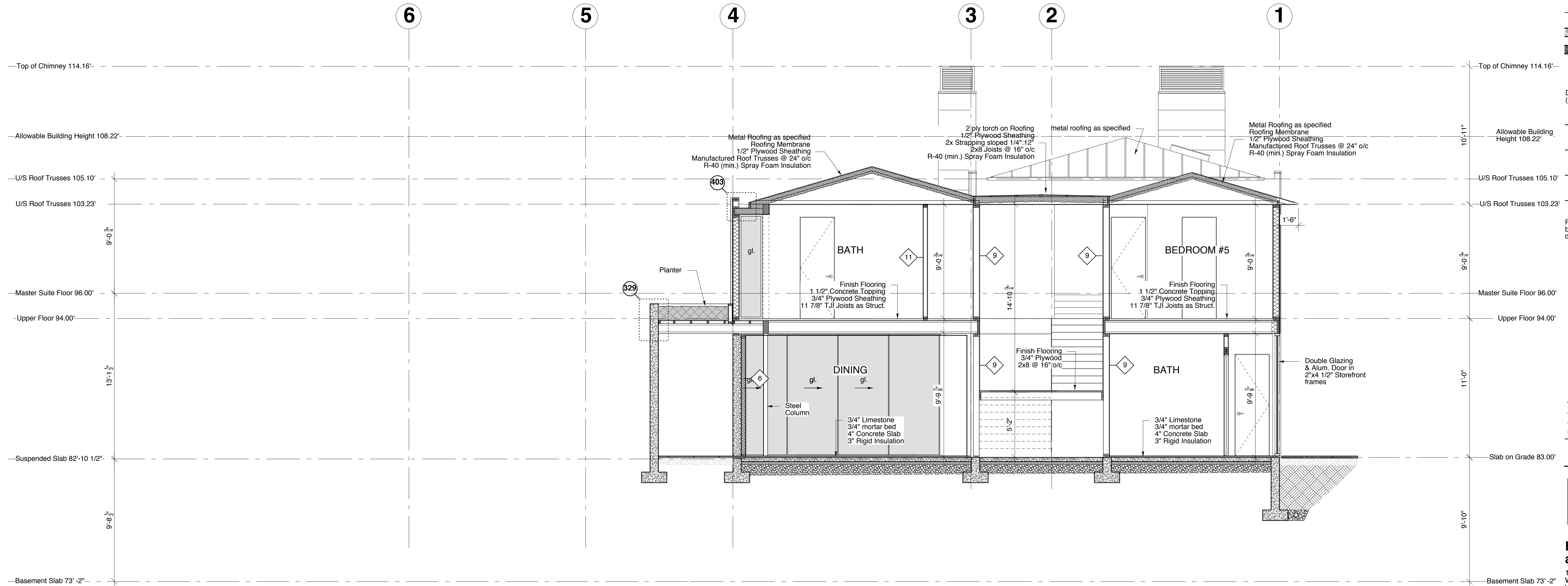
6132 Bonnie Bay Place  
 West Vancouver, BC

**BUILDING SECTION K-K**

Scale: 1/4" = 1'-0"



**4.10**



**SECTION K-K**

**GENERAL NOTES**  
(apply to all drawings)

This Building has been designed in conformance with the British Columbia Building Code (BCBC) latest edition and to all local codes. All construction to conform to applicable codes.

The Contractor and Sub-Contractors shall verify all dimensions on site and report any discrepancy to the Architect prior to start of construction. Final dimensions of all components is the Contractor's responsibility.

**Dimensions**  
All exterior dimensions are to face of concrete or to face of plywood sheathing.  
All interior dimensions are to face of stud unless otherwise noted.  
**Construction Assembly Reference**  
(refer to detail book)

- 3 Denote Wall Assembly
- Std. Concrete
- White Concrete

- Detail References**  
(refer to detail book)
- 400 Detail @ Roof level
  - 300 Detail @ Upper Floor level
  - 200 Detail @ Main Floor level
  - 100 Detail @ Basement level
- Provide all required blocking and backing whether indicated or not as directed by Architect or Engineer.

| Date     | Description                |
|----------|----------------------------|
| 11/07/14 | Minor Revisions            |
| 11/06/14 | Issued for Construction    |
| 10/10/23 | Design Revision            |
| 10/10/19 | Issued for Building Permit |

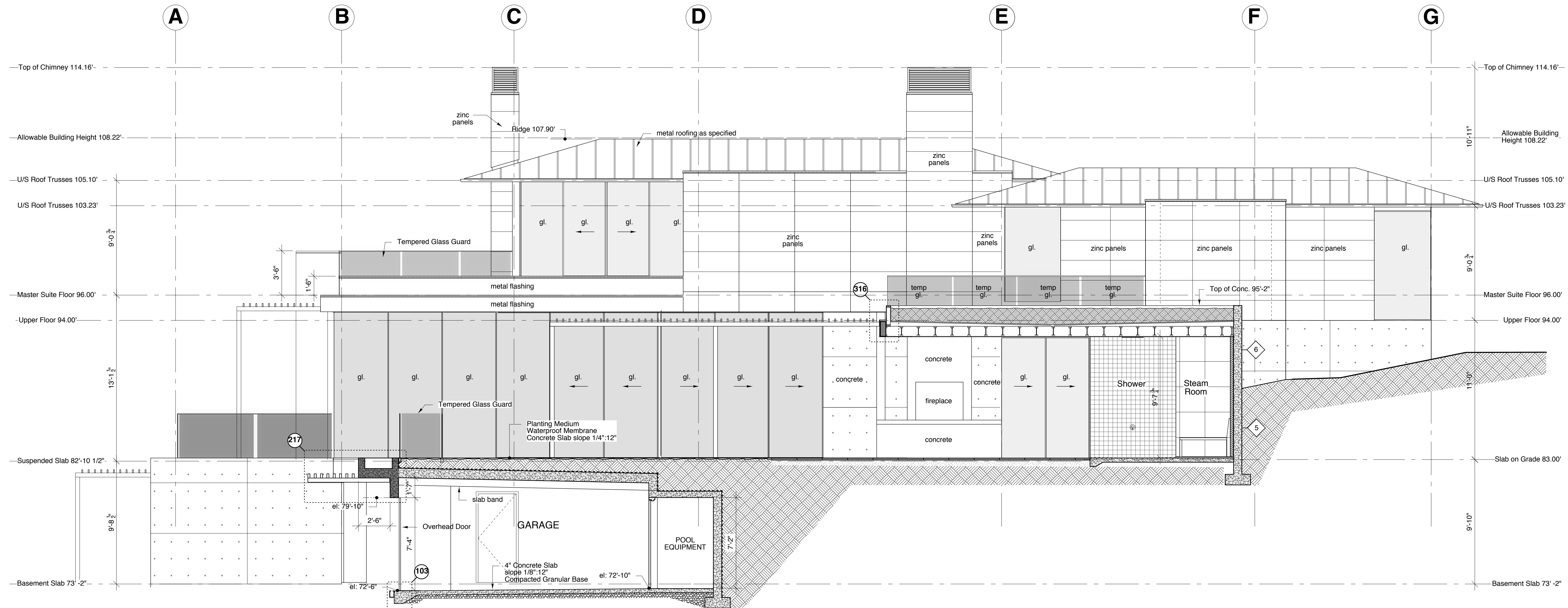
**REVISIONS:**

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DRAWN: www.negus.ca  
PROJECT:

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**BUILDING SECTION L-L**  
Scale: 1/4" = 1'-0"  
1 3 6 10



**SECTION L-L**